



Arlington Zoning Board of Appeals

Date: Tuesday, January 9, 2024

Time: 7:30 PM

Location: Remote Participation

Additional Details:

Agenda Items

Administrative Items

1. **Conducted by Remote Participation**

In accordance with the Governor's Order Suspending Certain Provisions of the Open Meeting Law, G. L. c. 30A, § 20 relating to the COVID-19 emergency, the Arlington Zoning Board of Appeals meetings shall be physically closed to the public to avoid group congregation until further notice. The meeting shall instead be held virtually using Zoom.

Please read Governor Healey's Executive Order Suspending Certain Provision of Open Meeting Law for more information regarding virtual public hearings and meetings: [Massachusetts Open Meeting Law](#)

For additional information on Arlington's Zoning Board please visit their website. Reference material for this meeting will be available 48 business hours prior to the meeting and may be viewed on the Board's Agendas and Minutes page.

Per Board Rules and Regulations, public comments will be accepted during the public comment periods designated on the agenda. Written comments may be provided by email to ZBA@town.arlington.ma.us 48 hours prior to the start of the meeting.

You are invited to a Zoom meeting.

When: Jan 9, 2024 07:30 PM Eastern Time (US and Canada)

Register in advance for this meeting:

<https://town-arlington-ma-us.zoom.us/meeting/register/tZlpdeioqDMtHNFjaER4-kluoyPI53D2rd51>

After registering, you will receive a confirmation email containing information about joining the meeting.

Hearings

2. **Docket #3764 212 Pleasant Street (continuance)**
3. **Docket #3776 49 Dickson Ave**
4. **Docket #3777 95 George Street**

5. **Docket # 3778 11 Ronald Road**

6. **Docket #3779 9 Morton Road**

Meeting Adjourn



Town of Arlington, Massachusetts

Conducted by Remote Participation

Summary:

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Town of Arlington, Massachusetts

Docket #3764 212 Pleasant Street (continuance)

ATTACHMENTS:

Type	File Name	Description
Reference Material	#3764_212_Pleasant_Street_Letter_from_Applicant_to_ZBA.pdf	Applicant Letter to ZBA
Reference Material	#3764_212_Pleasant_Street_SP_App_8-3-2023.pdf	#3764 212 Pleasant Street SP App
Reference Material	#3764_212_Pleasant_Street_drawings_and_plot_plan.pdf	212 Pleasant Street drawings and plot plan
Reference Material	#3764_212_Pleasant_Street_stamped_plans.pdf	212 Pleasant Street stamped plans
Reference Material	#3764_212_Pleasant_Street_supporting_calculations_and_documents.pdf	212 Pleasant Street Supporting calculations and documents
Reference Material	212_Pleasant_Street_Conservation_Plan_Map.pdf	212 Pleasant Street Conservation Plan Map
Reference Material	#3764_212_Pleasant_Street_DPCD_Memo.pdf	212 Pleasant Street DPCD Memo
Reference Material	22-26P_212_Pleasant_St_COA_for_addition.pdf	22-26P 212 Pleasant St COA for addition
Reference Material	Isik_Letter-to-ZBA.pdf	Isik_Letter-to-ZBA
Reference Material	Garber-How_Letter-to-ZBA-Aug-28.pdf	Garber-How_Letter-to-ZBA-Aug-28
Reference Material	Joseph_letter_re_212_Pleasant_Street_8-26-23.pdf	Joseph letter re 212 Pleasant Street 8-26-23
Reference Material	Sun_Dawson_Letter_to_the_ZBA_Aug28_2023.pdf	Sun_Dawson Letter to the ZBA Aug28 2023
Reference Material	Zoning_Memo_212_Pleasant_Street.pdf	Zoning Memo 212 Pleasant Street
Reference Material	Gruber_Letter_212_Pleasant_Street.pdf	Gruber Letter 212 Pleasant Street
Reference	Email_re_212_Pleasant_Street_continuance.pdf	Email re 212 Pleasant Street

	Material		continuance 10-3-23
▢	Reference Material	HDC_approval_212Pleasant_6-28-22.pdf	HDC approval 212Pleasant 6-28-22
▢	Reference Material	HDC_approval_clad_windows_1-27-2023.pdf	HDC approval clad windows 1-27-2023
▢	Reference Material	HDC_deadline_confirmation_Oct_2023.pdf	HDC deadline confirmation Oct 2023
▢	Reference Material	ConCom_minutes_w_approval_June_2022.pdf	ConCom minutes w approval June 2022
▢	Reference Material	NOI_Application_5-10-22.pdf	NOI Application 5-10-22
▢	Reference Material	Plot_Survey_updated_Oct_2023.pdf	Plot Survey updated Oct 2023
▢	Reference Material	NOI_Application_5-10-22.pdf	NOI Application 5-10-22
▢	Reference Material	3733_212_Pleasant_St_Planning_Memo_3-24-23.pdf	3733_212 Pleasant St Planning Memo 3-24-23
▢	Reference Material	3733_EVB_Design_11x17_print_scale.pdf	3733 EVB Design 11x17 print scale
▢	Reference Material	Left_side_Proposed___Existing_Plus_35___line.pdf	Left side Proposed & Existing Plus 35' line
▢	Reference Material	Front_Proposed___Existing_Plus_35___line.pdf	Front Proposed & Existing Plus 35' line
▢	Reference Material	212_Pleasant_Street_INFO_for_ZBA_11-18-2023.pdf	212 Pleasant Street INFO for ZBA 11-18-2023
▢	Reference Material	Updated_parking_sketch___plan_11-27-2023.pdf	Updated parking sketch & plan 11-27-2023
▢	Reference Material	Updated_parking_sketch___plan_11-27-2023.pdf	Updated parking sketch & plan 11-27-2023
▢	Reference Material	Isik_Letter_212_Pleasant_St.pdf	Isik Letter 212 Pleasant St
▢	Reference Material	Garber-How-Letter-to-ZBA-Nov-27.pdf	Garber-How-Letter-to-ZBA-Nov-27
▢	Reference Material	Sun_Dawson_Letter_to_the_ZBA_Nov_28__2023.pdf	Sun_Dawson Letter to the ZBA Nov 28, 2023

To: Arlington Zoning Board of Appeals

From: Nellie Aikenhead and Mark Halliday

Date: July 27, 2023

Re: Revised Application for Special Permit – 212 Pleasant Street

We respectfully request that the ZBA re-open our hearing for a Special Permit for a large addition at 212 Pleasant Street. Our architectural and engineering plans have not changed at all. However, after many conversations with Inspectional Services and careful review of the relevant portions of the zoning bylaws, including the definitions, we have revised a few figures and corrected some language in the application form (summary below). None of these changes affect the compliance of our project.

1. Most importantly, Inspectional Services and the zoning bylaw are clear that the square footage of an addition does not include a second floor built over an existing footprint, so we have adjusted our request accordingly. We are asking for a Special Permit to construct a 936 sq ft addition. The extra 186 sq ft over what is allowed by right will enable us to construct a full height walk-out basement, which, since it is located at the rear of the house, will not be visible to the neighbors. We are also requesting approval for the option to utilize the Exemption for Energy Efficient Homes.
2. We calculated the footprint of the addition (312 sq ft) based exactly on our architectural plans rather than using a rounded 350 sq ft number.
3. Based on Gross Floor Area (GFA) figures provided by the surveyor (and now included on the survey, a copy of which is attached hereto), we have corrected the GFA figures in the application.
4. The change in GFA automatically caused the figures that are based on GFA, including landscaped open space, usable open space, and floor area ratio, to adjust.
5. Rather than calculating Usable Open Space based on the entire backyard, which is 111% of GFA, the surveyor identified 1,159 sq ft, that meet slope, size, and minimum percentage of GFA requirements. We verified the slope is well below the maximum allowed using a slightly different area suggested by Inspectional Services.

As you know, our project has been reviewed and approved by every relevant board and commission in Arlington. We received a unanimous vote of approval from the Historic District Commission and a unanimous vote of approval from the Conservation Commission. We have obtained approval from staff in the Engineering Department for our stormwater management

plan, an OK from the Arlington Tree Warden, and a signoff from the Arlington Fire Department. Our project has been vetted by staff in the Department of Planning and Community Development, who concluded that it was consistent with the Special Permit provisions.

In addition, we have tried to be respectful of our neighborhood and thoughtful about our natural environment.

- Our roof height (26' 1") is lower than it could be by almost 9';
- We are proposing just two stories instead of the allowable 2 ½ stories;
- Our lot coverage is 17% instead of the allowable 35% maximum;
- Our usable open space is 35% of GFA, even without including 2/3s of the backyard;
- Our landscaped open space is 30% of GFA, which is well above the required 10% minimum; and
- We plan to create a highly energy efficient home that is as close to net-zero as is feasible.

We very much hope that we have produced a plan that the ZBA is able to approve!

REQUEST FOR SPECIAL PERMIT

REVISED 8/3/2023

TOWN OF ARLINGTON

In the matter of the Application of _____
to the Zoning Board of Appeals for the Town of Arlington:

Application for a Special Permit is herewith made, in accordance with Section 3.3 of the Zoning Bylaw of the Town of Arlington, Massachusetts, seeking relief from the following specific provisions of the Zoning Bylaw, and as described fully in the attached form, *Special Permit Criteria*:

The Applicant states he/she/they is/are the owner/occupant of the land in Arlington located at _____ with respect to such relief is sought; that no unfavorable action has been taken by the Zoning Board of Appeals upon a similar petition regarding this property within the two (2) years next immediately prior to the filing hereof. The applicant expressly agrees to full compliance with any and all conditions and qualifications imposed upon this permission, whether by the Zoning Bylaw or by the Zoning Board of Appeals, should the same be granted. The Applicant represents that the grounds for the relief sought are as follows:

E-Mail: _____ Signed: _____ Date: _____
Telephone: _____ Address: _____

Special Permit Criteria: Per Section 3.3.3 of the Zoning Bylaw, a Special Permit shall only be granted upon the Board's determination that the benefits of the proposed project will outweigh its adverse effects. The responses provided below will inform the Board as to whether the standards for approval have been met.

A). Indicate where the requested use is listed in the Table of Use Regulations as allowed by Special Permit in the district for which the application is made or is so designated elsewhere in the Zoning Bylaw.

B). Explain why the *requested use is essential or desirable to the public convenience or welfare.*

C). Explain why *the requested use will not create undue traffic congestion, or unduly impair pedestrian safety.*

D). Explain why *the requested use will not overload any public water, drainage or sewer system, or any other municipal system to such an extent that the requested use or any developed use in the immediate area or any other area of the Town will be unduly subjected to hazards affecting health, safety or the general welfare.*

E). Describe how any special regulations for the use, as may be provided in the Zoning Bylaw, including but not limited to the provisions of Section 8 are fulfilled.

F). Explain why the requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.

G). Explain why *the requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.*

TOWN OF ARLINGTON
Dimensional and Parking Information
For Applications to the Zoning Board of Appeals

1. Property Location: _____ Zoning District: _____

2. Present Use/Occupancy: _____ No. of dwelling units _____

3. Existing Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
_____ Sq. Ft.

4. Proposed Use/Occupancy: _____ No. of dwelling units _____

5. Proposed Gross Floor Area (refer to Section 5.3.22 of the Zoning Bylaw and provide supporting documentation [worksheet and drawings] showing dimensions of GFA by floor):
_____ Sq. Ft.

- 6. Lot size (Sq. Ft.)
- 7. Frontage (Ft.)
- 8. Floor area ratio
- 9. Lot Coverage (%)
- 10. Lot Area per Dwelling Unit (Sq. Ft.)
- 11. Front Yard Depth (Ft.)
- 12. Left Side Yard Depth (Ft.)
- 13. Right Side Yard Depth (Ft.)
- 14. Rear Yard Depth (Ft.)
- 15. Height (Stories)
- 16. Height (Ft.)
- 17. Landscaped Open Space (Sq. Ft.)
Refer to Section 2 in the Zoning Bylaw.
- 17A. Landscaped Open Space (% of GFA)
- 18. Usable Open Space (Sq. Ft.)
Refer to Section 2 in the Zoning Bylaw.
- 18A. Usable Open Space (% of GFA)
- 19. Number of Parking Spaces
- 20. Parking area setbacks (if applicable)
- 21. Number of Loading Spaces (if applicable)
- 22. Type of construction
- 23. Slope of proposed roof(s) (in. per ft.)

Present Conditions	Proposed Conditions	Min. or max Required by Zoning
		min.
		min.
		max.
		max
		min.
		min.
		min.
		min.
		max.
		max.
		min.
		min.
		min.
		min.
		N/A
		min.

TOWN OF ARLINGTON
Open Space / Gross Floor Area Information
For Applications to the Zoning Board of Appeals

Refer to Section 2: *Definitions*, and Section 5: *District Regulations* in the Zoning Bylaw of the Town of Arlington before completing this form.

Address: _____

Zoning District: _____

OPEN SPACE*

EXISTING

PROPOSED

Total lot area

Open Space, Usable

Open Space, Landscaped

* Refer to the Definitions in Section 2 of the Zoning Bylaw.

GROSS FLOOR AREA (GFA) †

Accessory Building

Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)

1st Floor

2nd Floor

3rd Floor

4th Floor

5th Floor

Attic (greater than 7'-0" in height, excluding elevator machinery, or mechanical equipment)

Parking garages (except as used for accessory parking or off-street loading purposes)

All weather habitable porches and balconies

Total Gross Floor Area (GFA)

NOTE: GFA of the proposed addition is 936 sq ft, which is 57% of the existing GFA.

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

REQUIRED MINIMUM OPEN SPACE AREA

Landscaped Open Space (Sq. Ft.)

Landscaped Open Space (% of GFA)

Usable Open Space (Sq. Ft.)

Usable Open Space (% of GFA)

This worksheet applies to plans dated _____ designed by _____
EvB Design plans are dated 12/6/2023 and Rober survey is dated 1/22/2023

Reviewed with Building Inspector: _____ Date: _____

Project:

Spy Pond Cottage

212 Pleasant Street
Arlington , MA 02476

ISSUE DATE: January 06, 2023
For Zoning Review

Owners:

Nellie Aikenhead &
Mark Halliday
54 Brantwood Rd.
Arlington, MA 02476

Architect:

EvB Design
Edrick vanBeuzekom, AIA
1310 Broadway, Suite 200
Somerville, MA 02144
Tel: 617-623-2222

Structural Engineer

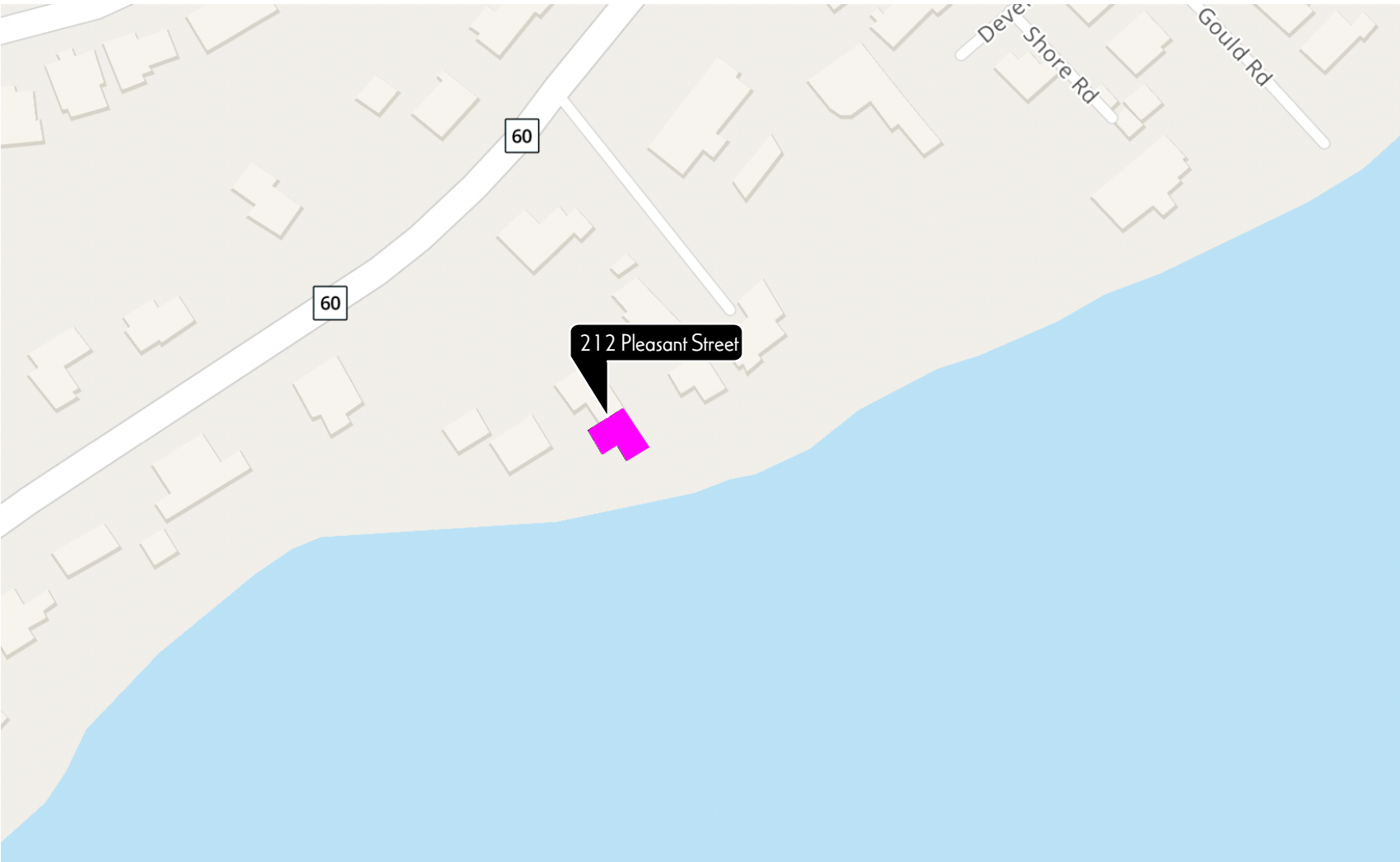
CJ Associates, LLC
Chris Jayavendra, PE., SE.
P.O. Box 13
Westborough, MA 01581
Tel: 617-869-2273
email: cjassociatesma@gmail.com

List Of Drawings:

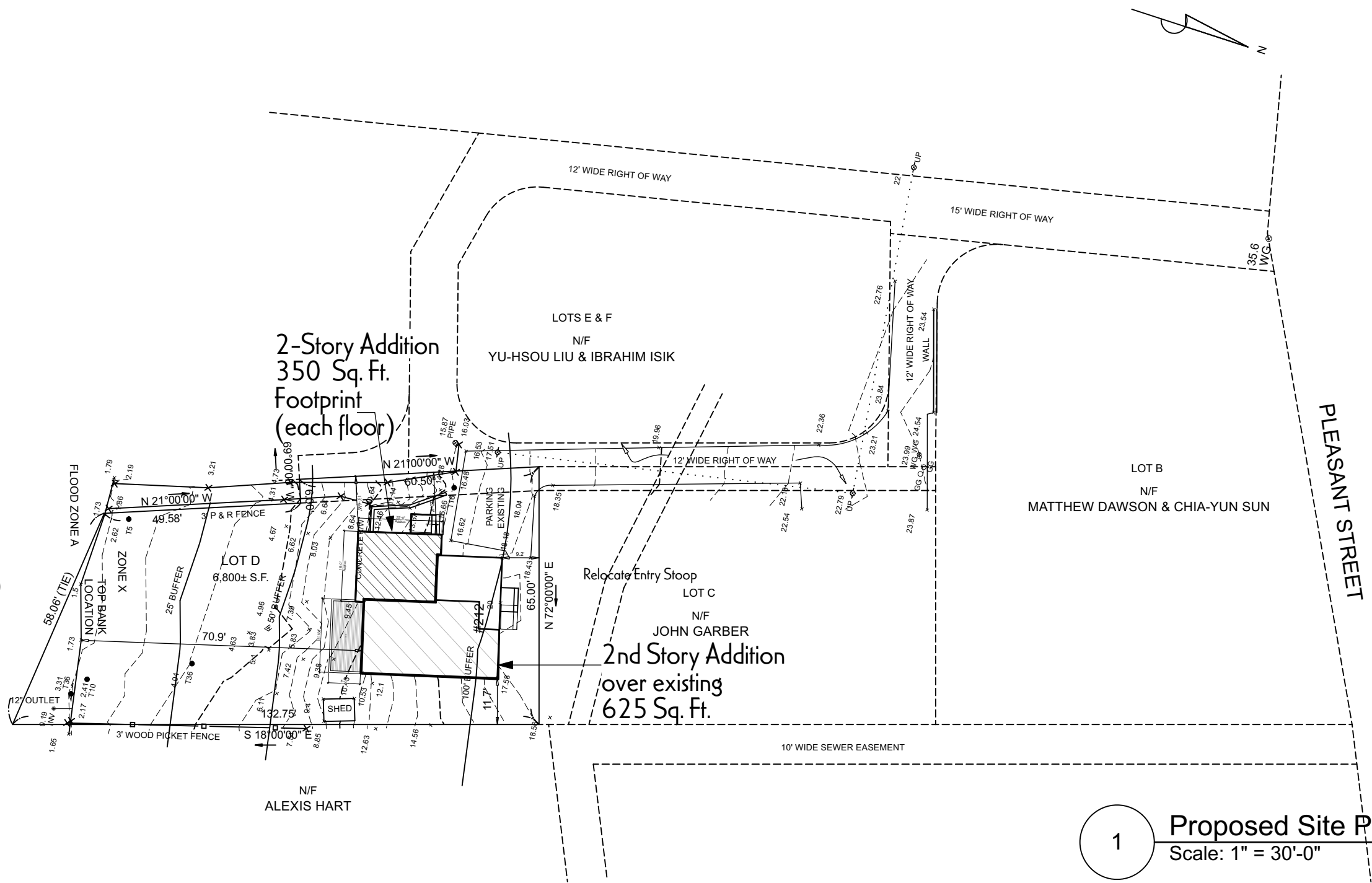
- Cover Sheet
- C1.0 Existing Site Plan
- C1.1 Proposed Site Plan
- S-1 Foundation & Details
- S-2 First Floor Framing
- S-3 2nd Floor Framing Plan
- S-4 Notes & Details
- S-5 Typical Details
- A1.0 Proposed Basement Plan
- A1.1 Proposed 1st Floor Plan
- A1.2 Proposed 2nd Floor Plan
- A1.3 Proposed Roof Plan

- A2.1 Proposed North Elevation
- A2.2 Proposed West Elevation
- A2.3 Proposed South Elevation
- A2.4 Proposed East Elevation
- A2.5 Proposed Doors & Windows Schedule
- A3.1 Proposed Section
- A3.2 Proposed Section
- A3.3 Proposed Section
- X1.0 Existing Basement Plan
- X1.1 Existing 1st Floor Plan
- X1.2 Existing Roof Plan
- X2.1 Existing Exterior Elevations
- X2.2 Existing Exterior Elevations
- X2.3 Existing Exterior Elevations
- X2.4 Existing Exterior Elevations
- X3.1 Existing Sections
- X3.2 Existing Sections

SITE PLAN



SPY POND



1 Proposed Site Plan
Scale: 1" = 30'-0"

AVERAGE GRADE
(17.58+18.18)/2= 17.88
(18.18+12.96)/2= 15.57
(12.96+10.43)/2= 11.695
(10.43+17.58)/2= 14.005
(17.88+15.57+11.695+14.005)/4 = 14.79

BASEMENT CEILING = 19'
PROPOSED AVERAGE GRADE = 14.79'

FAR 2669/6800 = .39

NOTE: UP = UTILITY POLE

Drawing Based on:

CONSERVATION PLAN
IN
ARLINGTON, MA
(MIDDLESEX COUNTY)

PREPARED FOR: MARK HALLIDAY
SCALE: 1"= 20' DATE: JANUARY 12, 2022

0 20 40 60 80 ft

ROBER SURVEY
1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
6645PP1.DWG

EvB Design

1310 Broadway, Suite 200
Somerville, MA 02144

SPY Pond Cottage
212 Pleasant St
Arlington, MA 02476

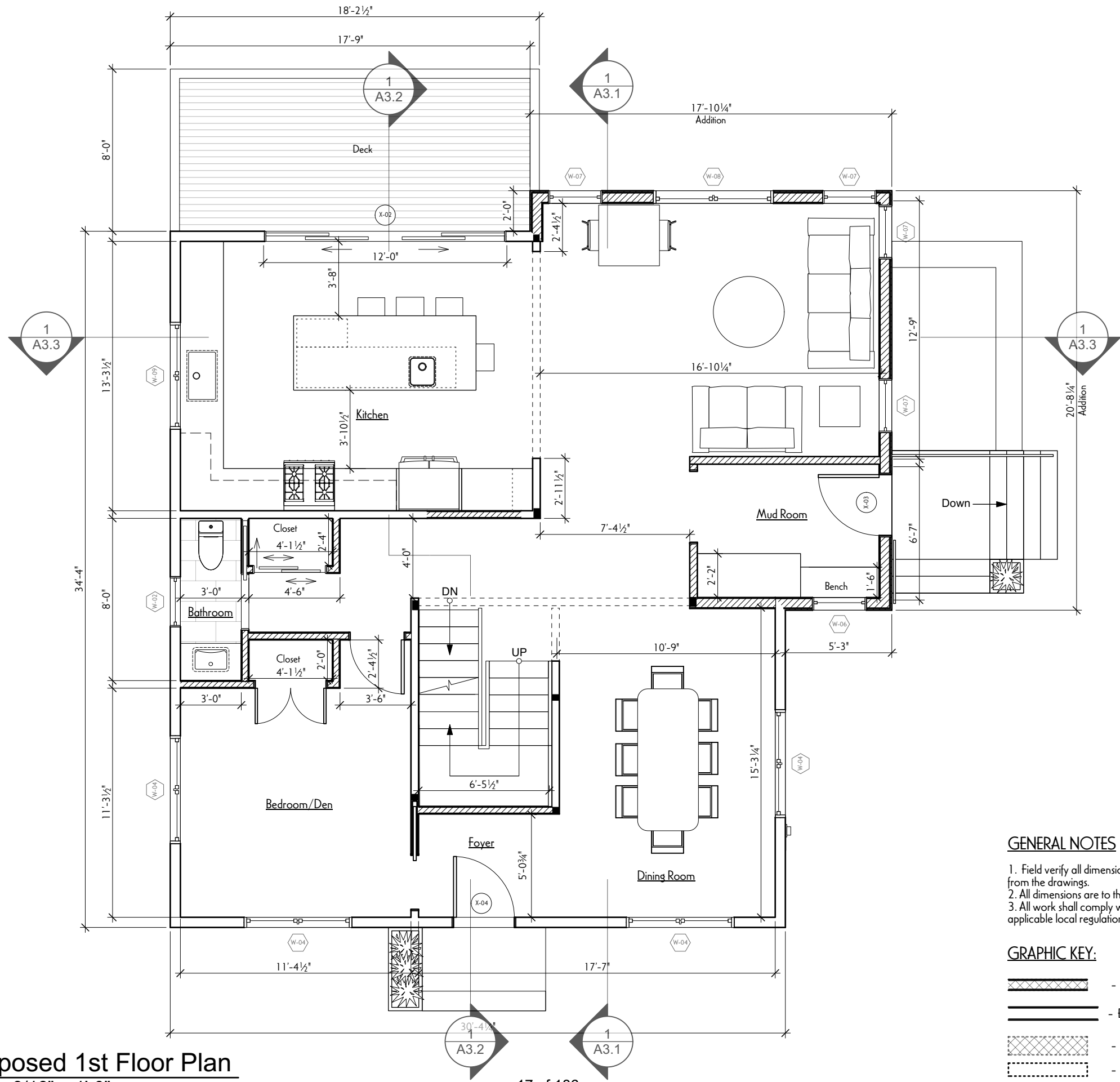
C1.1

Date: 01/06/23

1

Proposed 1st Floor Plan

Scale: 3/16" = 1'-0"

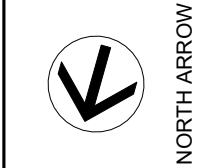


- GENERAL NOTES**
1. Field verify all dimensions. Notify Architect immediately of any conditions which vary from the drawings.
 2. All dimensions are to the finished face of plaster unless otherwise noted (U.O.N.)
 3. All work shall comply with Massachusetts State Building Code 9th edition and all applicable local regulations.

- GRAPHIC KEY:**
- Existing wall to be removed
 - Existing wall to remain
 - Existing fixture/finish to be removed
 - Denotes demo
 - New wall, typical

Spy Pond Cottage
212 Pleasant St
Arlington, MA 02476

EvB Design
1310 Broadway, Suite 200
Somerville, MA 02144

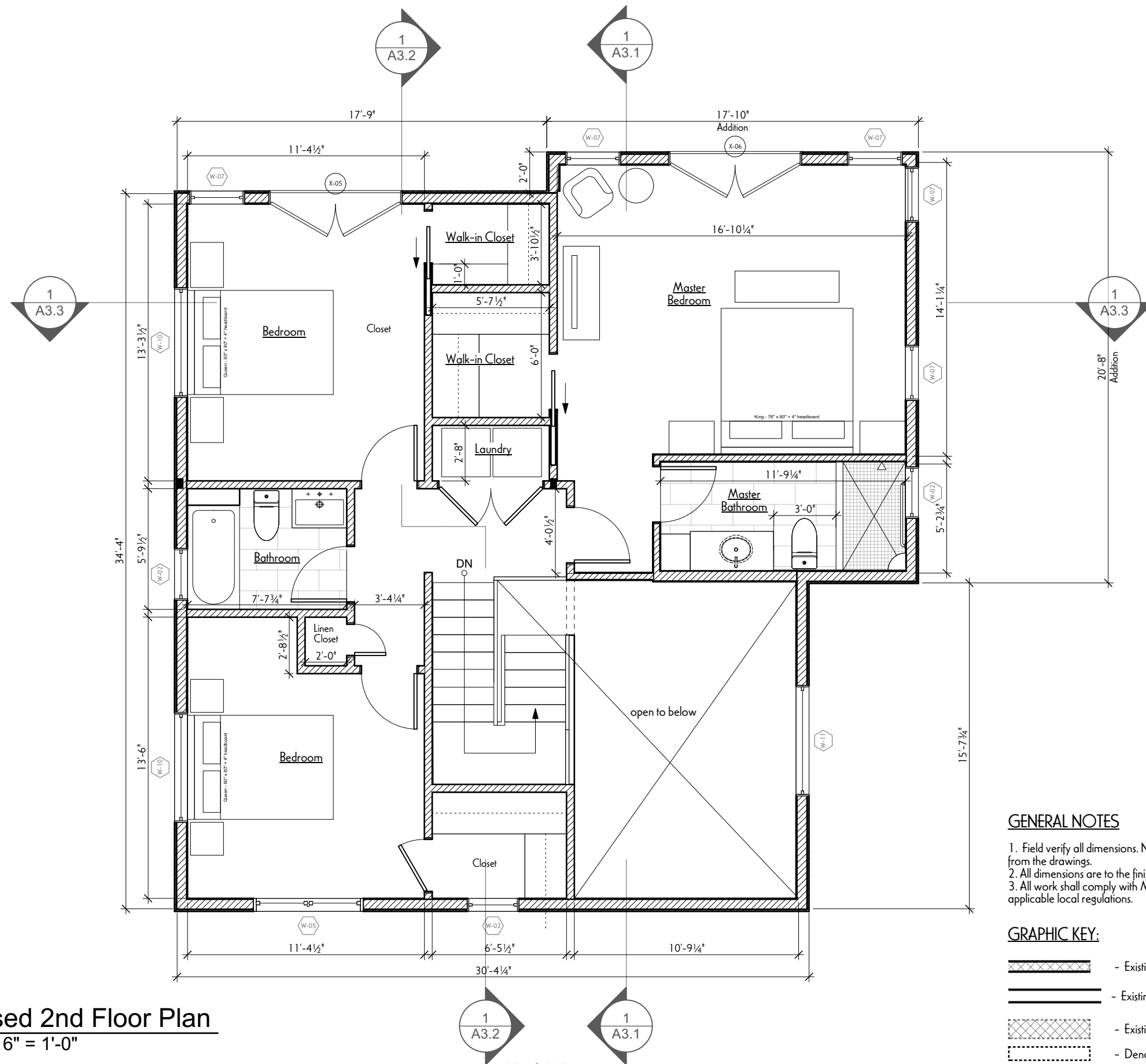


Date:
01/06/23

A1.1

Scale: $\frac{3}{16}'' = 1'-0''$






18 of 186



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GRAPHIC KEY:

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212 Pleasant St
Arlington, MA 02476

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Somerville, MA 02144

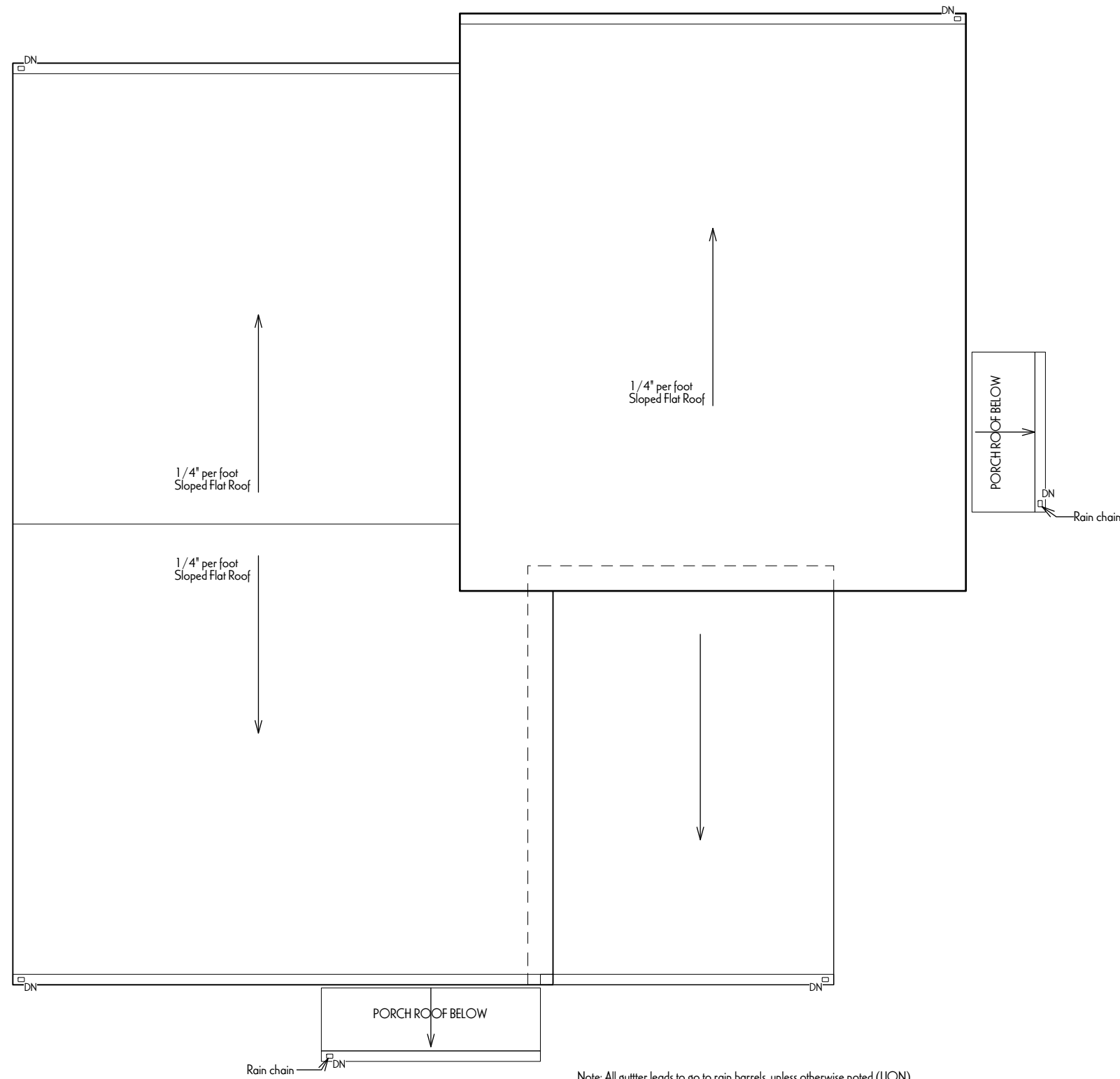


NORTH ARROW

Date: _____

01/06/23

A1.2



Note: All gutter leads to go to rain barrels, unless otherwise noted (UON)

1

Proposed Roof Plan
Scale: 3/16" = 1'-0"

Spy Pond Cottage
212 Pleasant St
Arlington, MA 02476

EvB Design
1310 Broadway, Suite 200
Somerville, MA 02144



NORTH ARROW

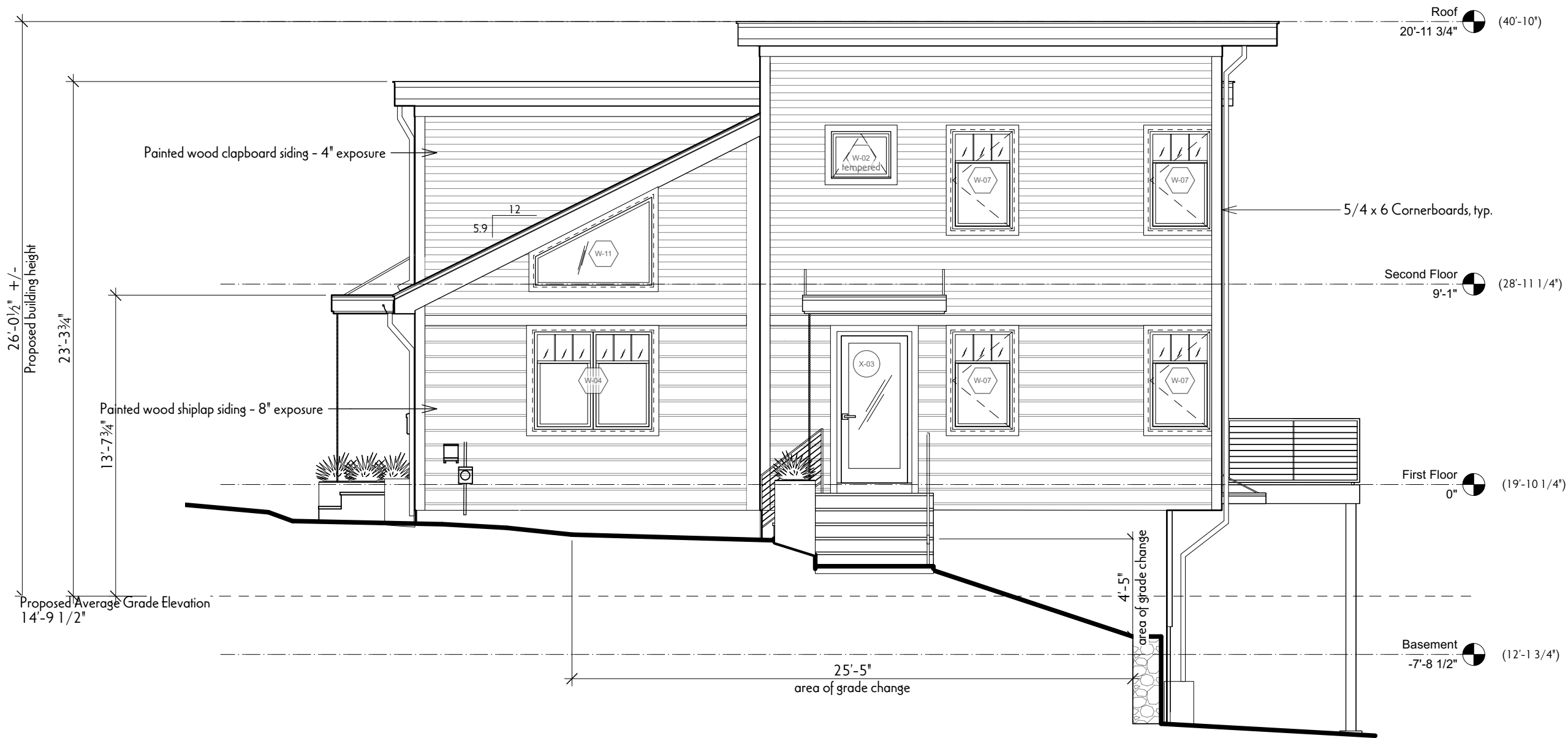
Date:

01/06/23

A1.3



1 Proposed North Elevation (Pleasant Street)
Scale: 3/16" = 1'-0"



Spy Pond Cottage
212 Pleasant St
Arlington, MA 02476

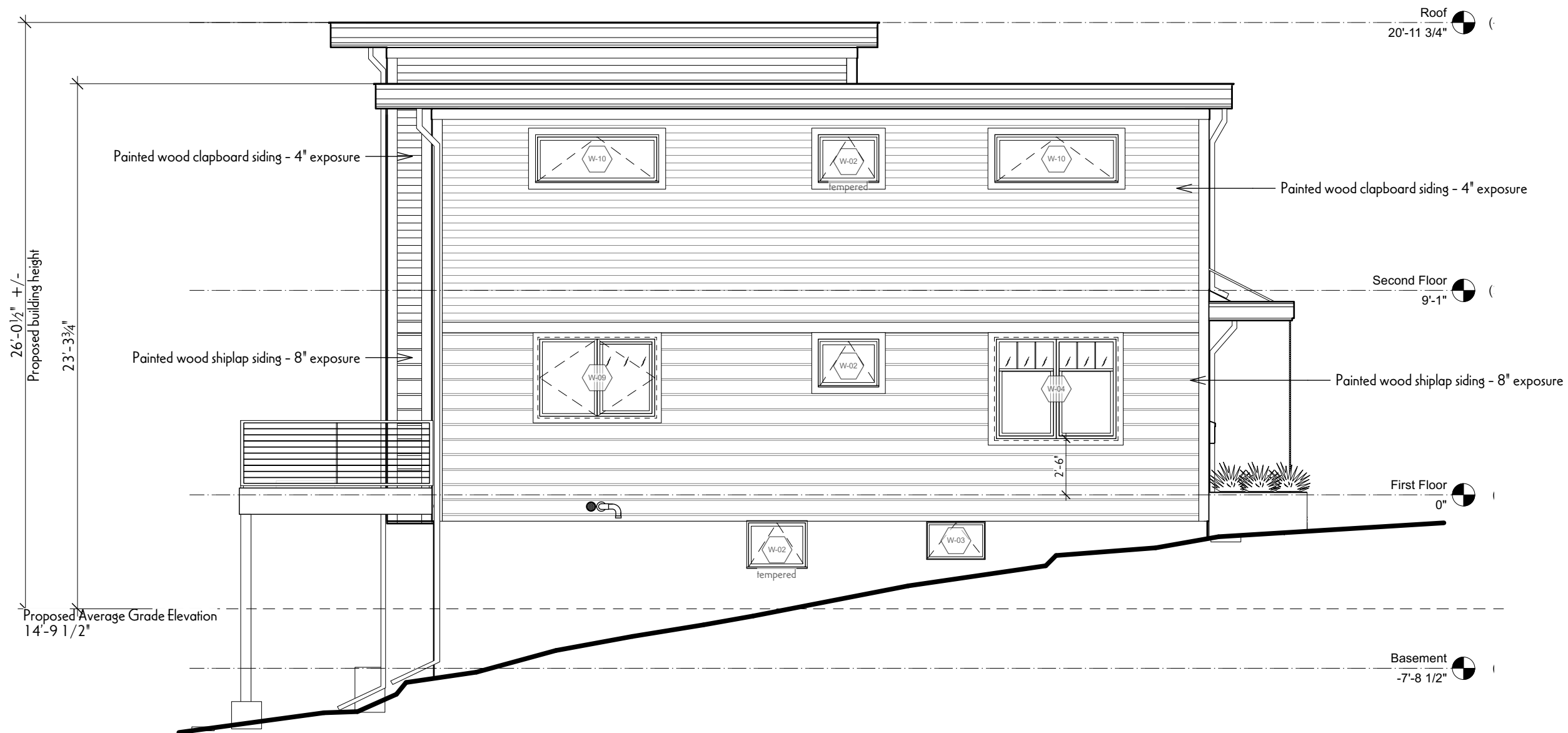
EvB Design
1310 Broadway, Suite 200
Somerville, MA 02144

Date:
01/06/23

A2.2



1 Proposed South Elevation
Scale: 3/16" = 1'-0"



1 **Proposed East Elevation**
Scale: 3/16" = 1'-0"

Window Schedule

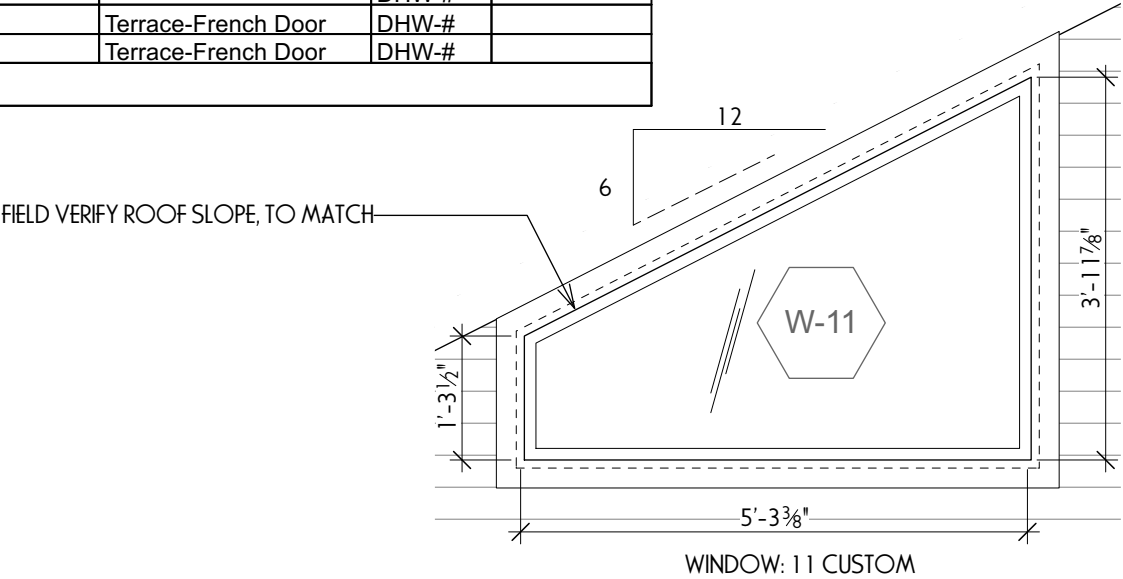
Count			Window Schedule		Openings						
Mark			O.A. Width	O.A. Height	Egress Win	RO Width	RO Height	Mfr	Model No.	Accessories	Comments
W-	02	4	2'5 1/2"	1'11 5/8"	N			Loewen	AW1-7506		(3) tempered see elev for loc.
W-	04	4	5'3 5/8"	4'8 1/4"	N			Loewen	SH2-2624		2 Wide Single Hung
W-	05	1	5'3"	4'7 1/8"	N			Loewen	CA2-1614		
W-	06	1	2'7 7/8"	4'8 1/4"	N/A			Loewen	SH1-2624		Single Hung
W-	07	9	2'7 1/2"	4'7 1/8"	YES			Loewen	CA1-0814		6 hinged on left, 3 hinged on right, as viewed from exterior
W-	08	1	5'10 7/8"	4'7 1/8"	N/A			Loewen	CA2-1814		
W-	09	1	5'3"	3'5 1/4"	N/A			Loewen	CA2-1611		
W-	10	2	5'3"	1'11 5/8"	N			Loewen	AW1-1606		
W-	11	1	5'3 3/8"	3'11 7/8"	N			Loewen	Custom		Custom Trapezoid - See Elevations

NOTES: G.C. to Field Verify All Dimensions, All operable sash to include screens, Windows to be Loewen, color TBD — Provide color chip,

Exterior Door Schedule

Count			Nominal Size			Door Style				Door Frame		Openings		Door Data			
Mark			Width	Height	Thickness	Configuration		Slab Style	Glaz. Style	Jamb Thick	Jamb Depth	RO Width	RO Height	Mfr	Model No.	HW Set	Comments
X-	02	1	11'9 1/4"	7'4 3/8"	1 3/4"	Slider	OXXO	Glass	None	3/4"	6"			Loewen	44 Sliding Patio Door	DHW-#	Bi-Parting
X-	03	1	3'0"	7'0"	1 3/4"	Swing Simple	N/A	Panel	None	3/4"	7 1/2"			TBD		DHW-#	
X-	04	1	3'0"	7'0"	1 3/4"	Swing Simple	N/A	Panel	None	3/4"	6"			TBD		DHW-#	
X-	05	1	6'3"	7'2"	1 1/2"	Swing Bi-part	N/A	Glass	None	3/4"	7 1/2"			Loewen	Terrace-French Door	DHW-#	
X-	06	1	6'3"	7'2"	1 1/2"	Swing Bi-part	N/A	Glass	None	3/4"	7 1/2"			Loewen	Terrace-French Door	DHW-#	

NOTES: G.C. to Field Verify All Dimensions, All glass to be tempered, painted TBD - Provide color chip



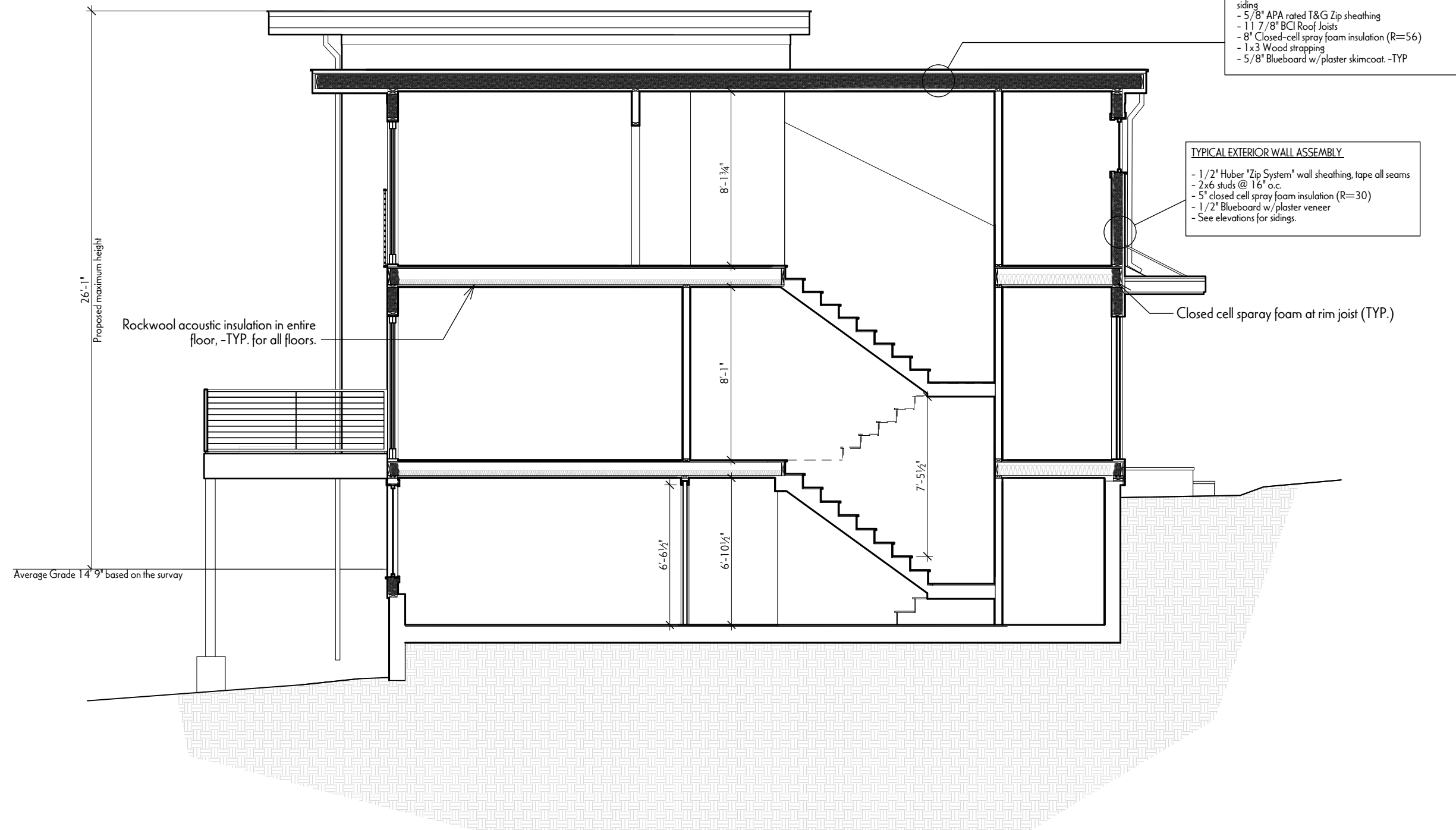
WINDOW: 11 CUSTOM

Spy Pond Cottage
212 Pleasant St
Arlington, MA 02476

EvB Design
1310 Broadway, Suite 200
Somerville, MA 02144

A2.5

Date:
01/06/23

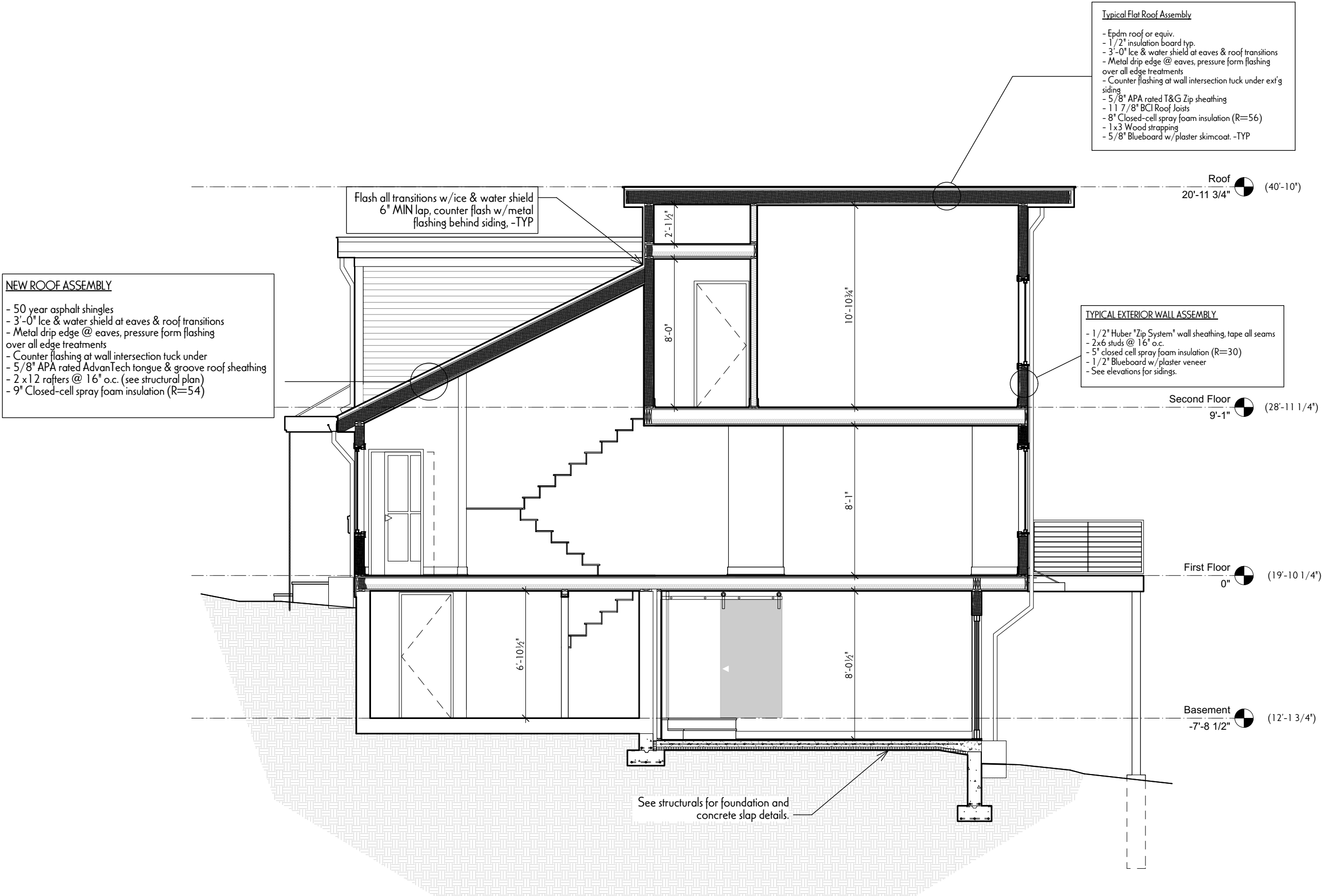


1 **Proposed Section**
Scale: 3/16" = 1'-0"

1

Proposed Section

Scale: 3/16" = 1'-0"



A3.2

Date:

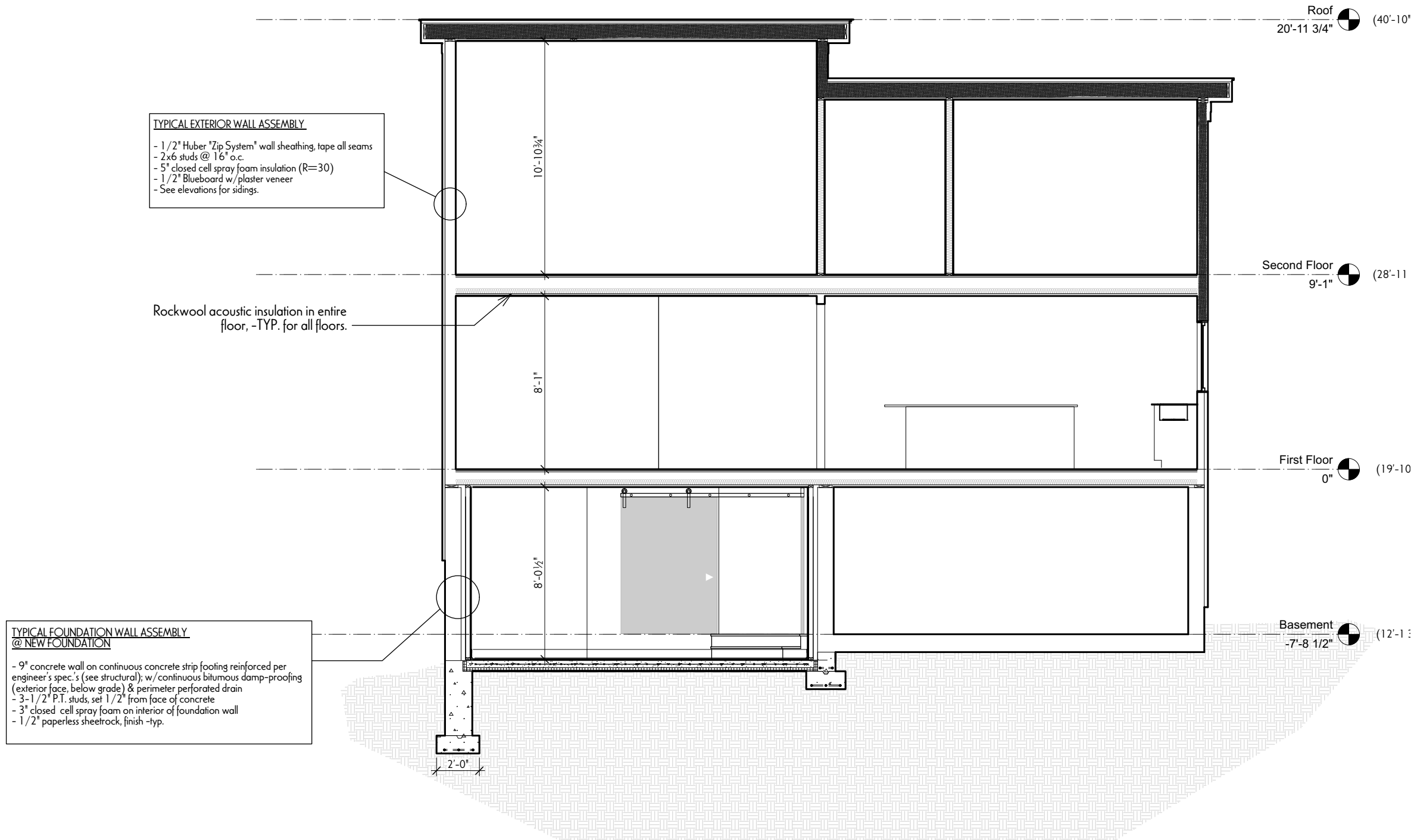
01/06/23

EvB Design

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Spy Pond Cottage

212 Pleasant St
Arlington, MA 02476



1 Proposed Section
Scale: 3/16" = 1'-0"

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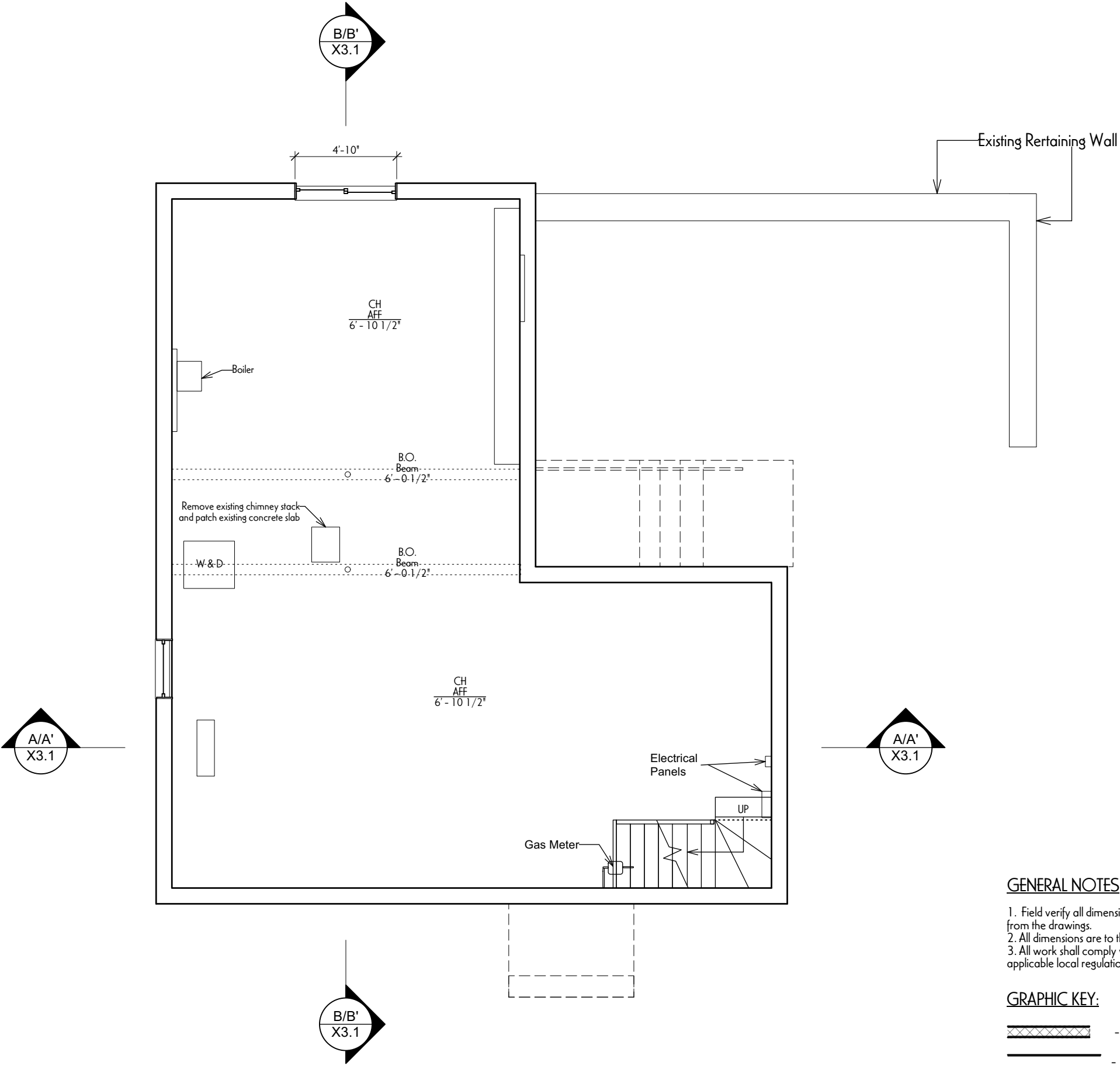
Date: 01/06/23

A3.3

1

Existing Basement Floor Plan

Scale: 3/16" = 1'-0"



GENERAL NOTES

- 1. Field verify all dimensions. Notify Architect immediately of any conditions which vary from the drawings.
- 2. All dimensions are to the finished face of plaster unless otherwise noted (U.O.N.)
- 3. All work shall comply with Massachusetts State Building Code 9th edition and all applicable local regulations.

GRAPHIC KEY:

- Existing wall to be removed
- Existing wall to remain
- Existing fixture/finish to be removed
- Denotes demo
- New wall, typical

1310 Broadway, Suite 200
Somerville, MA 02144

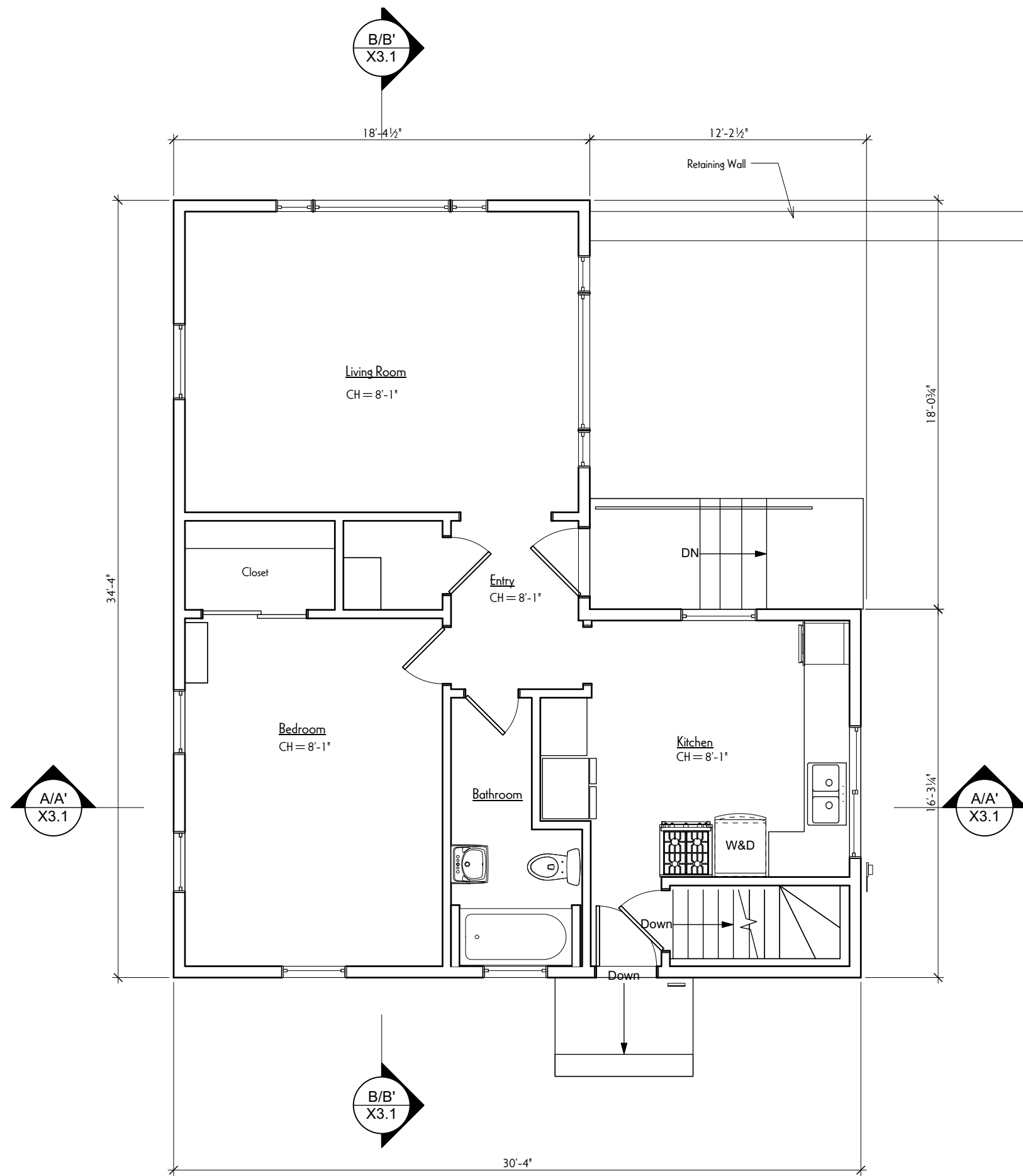
EvB Design

212 Pleasant St
Arlington, MA 02476

Spy Pond Cottage

Date: 01/06/23

X1.0



GENERAL NOTES

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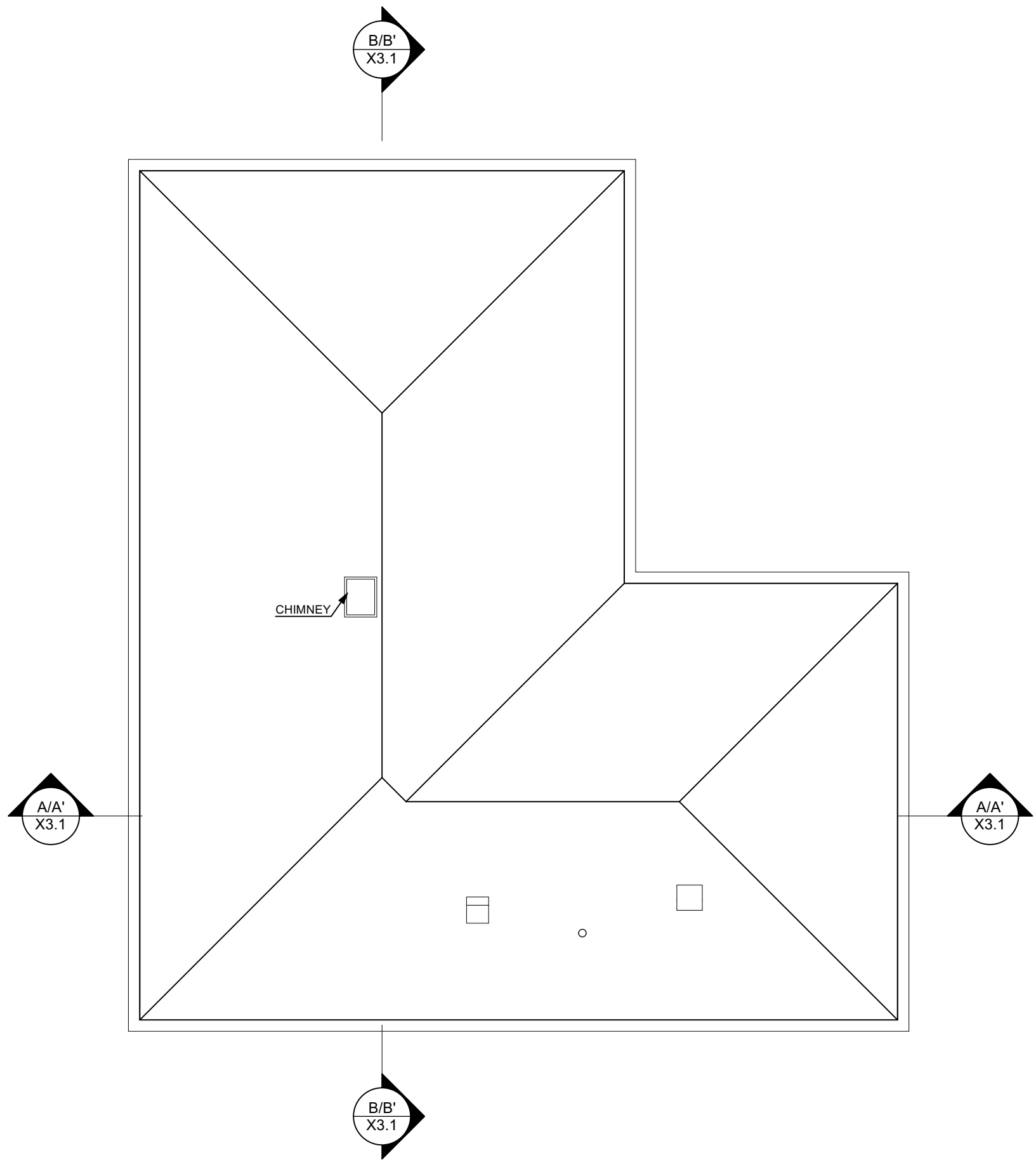
GRAPHIC KEY:

- Existing wall to be removed
- Existing wall to remain
- Existing fixture/finish to be removed
- Denotes demo
- New wall, typical

1

Existing Roof Plan

Scale: 3/16" = 1'-0"



Spy Pond Cottage
212 Pleasant St
Arlington, MA 02476

EvB Design 
1310 Broadway, Suite 200
Somerville, MA 02144



Date:	01/06/23

X1.2



1 North
Scale: 1/4" = 1'-0"

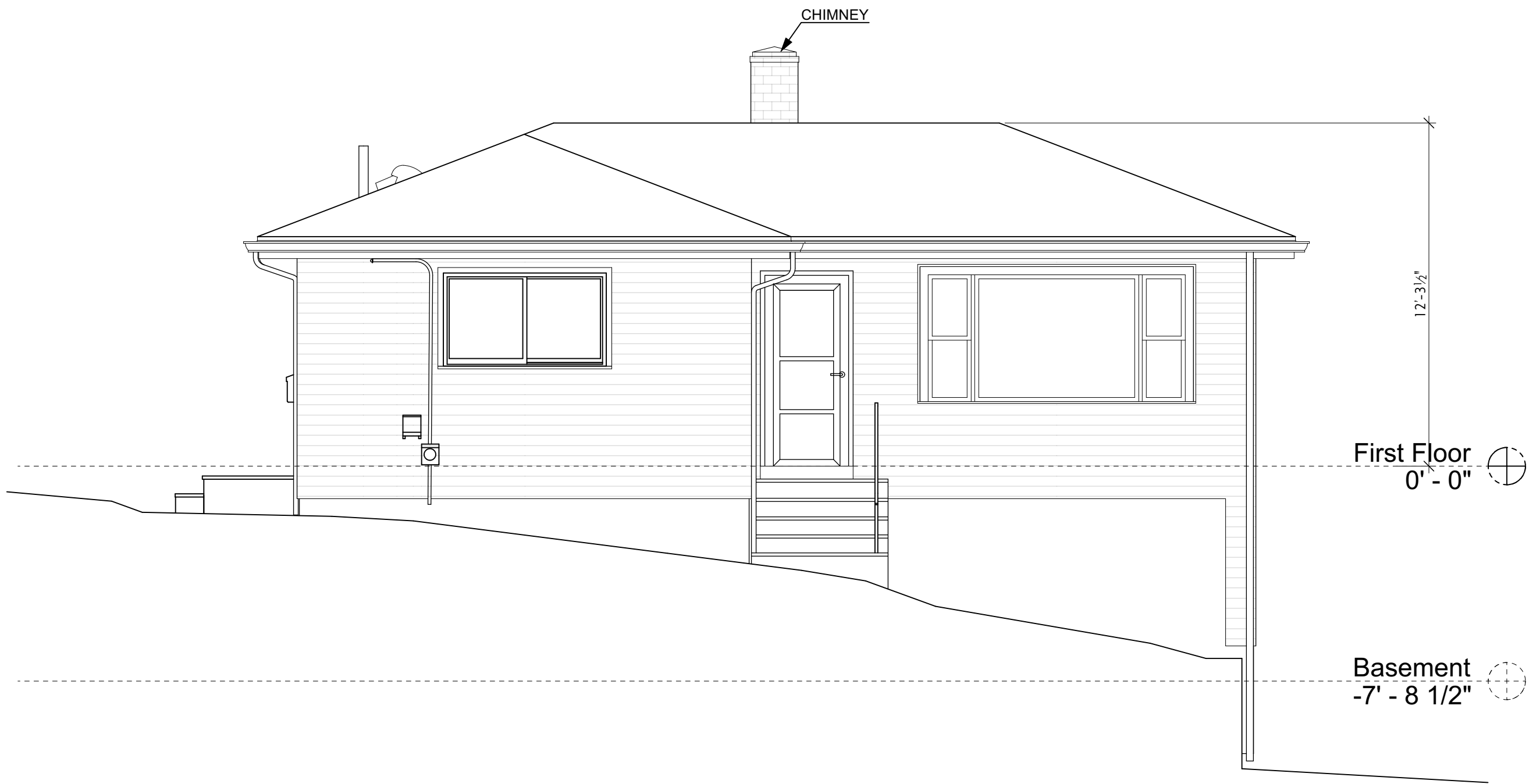
Spy Pond Cottage
212 Pleasant St
Arlington, MA 02476

EvB Design **EvB**
1310 Broadway, Suite 200
Somerville, MA 02144

Date:

01/06/23

X2.1



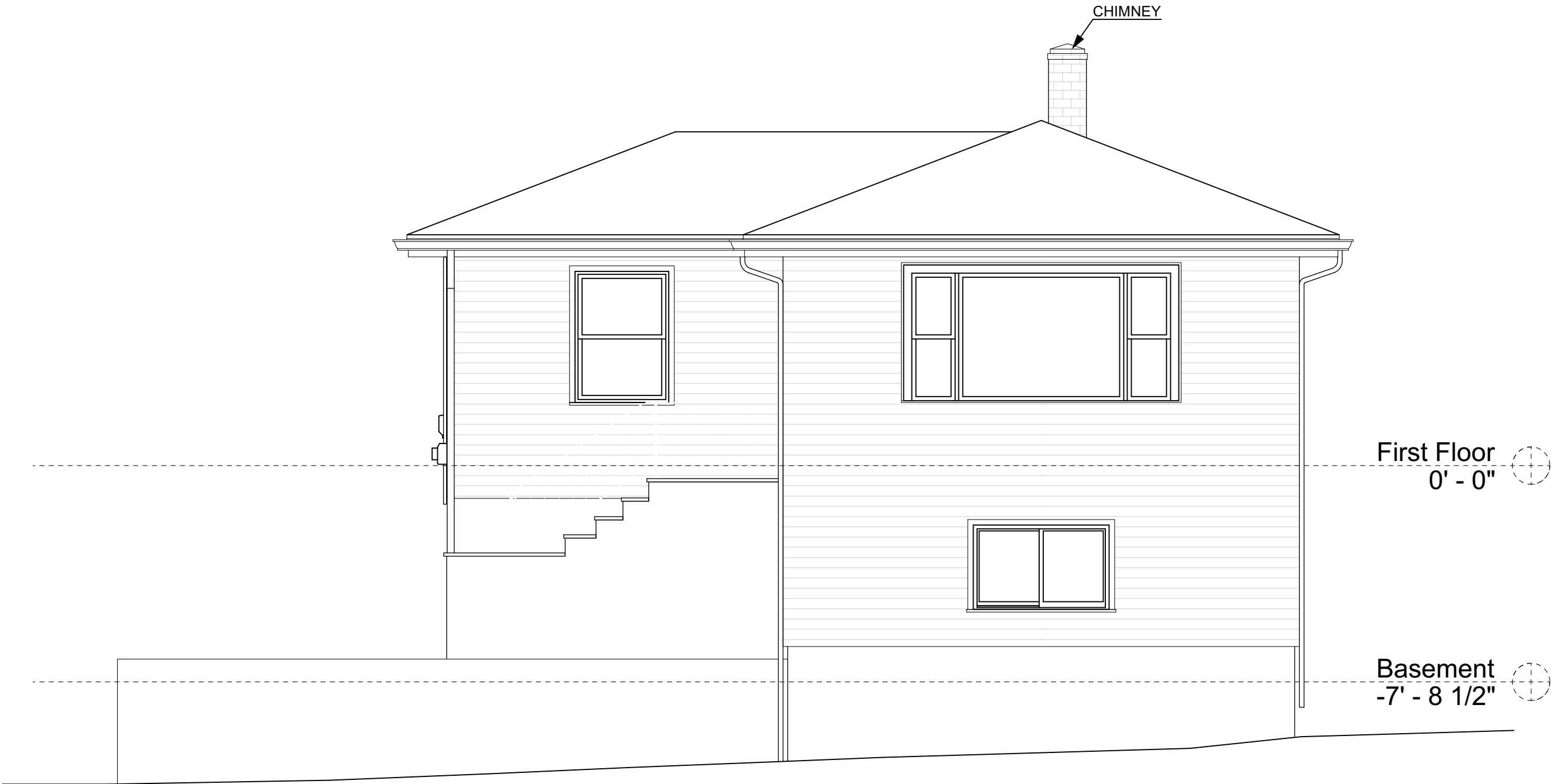
2 West
Scale: 1/4" = 1'-0"

Spy Pond Cottage
212 Pleasant St
Arlington, MA 02476

EvB Design **EvB**
1310 Broadway, Suite 200
Somerville, MA 02144

Date:
01/06/23

X2.2



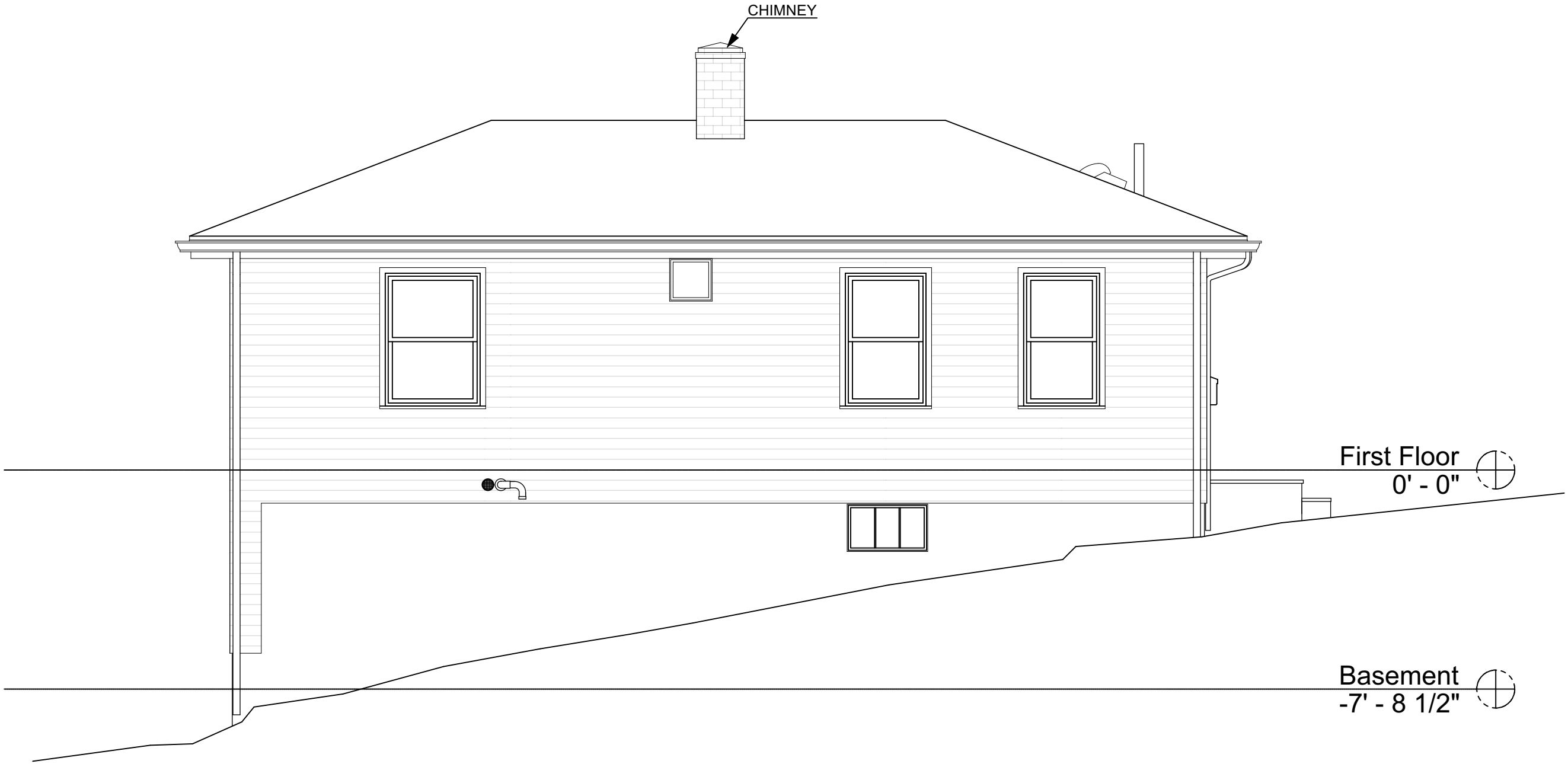
1 South
Scale: 1/4" = 1'-0"

Spy Pond Cottage
212 Pleasant St
Arlington, MA 02476

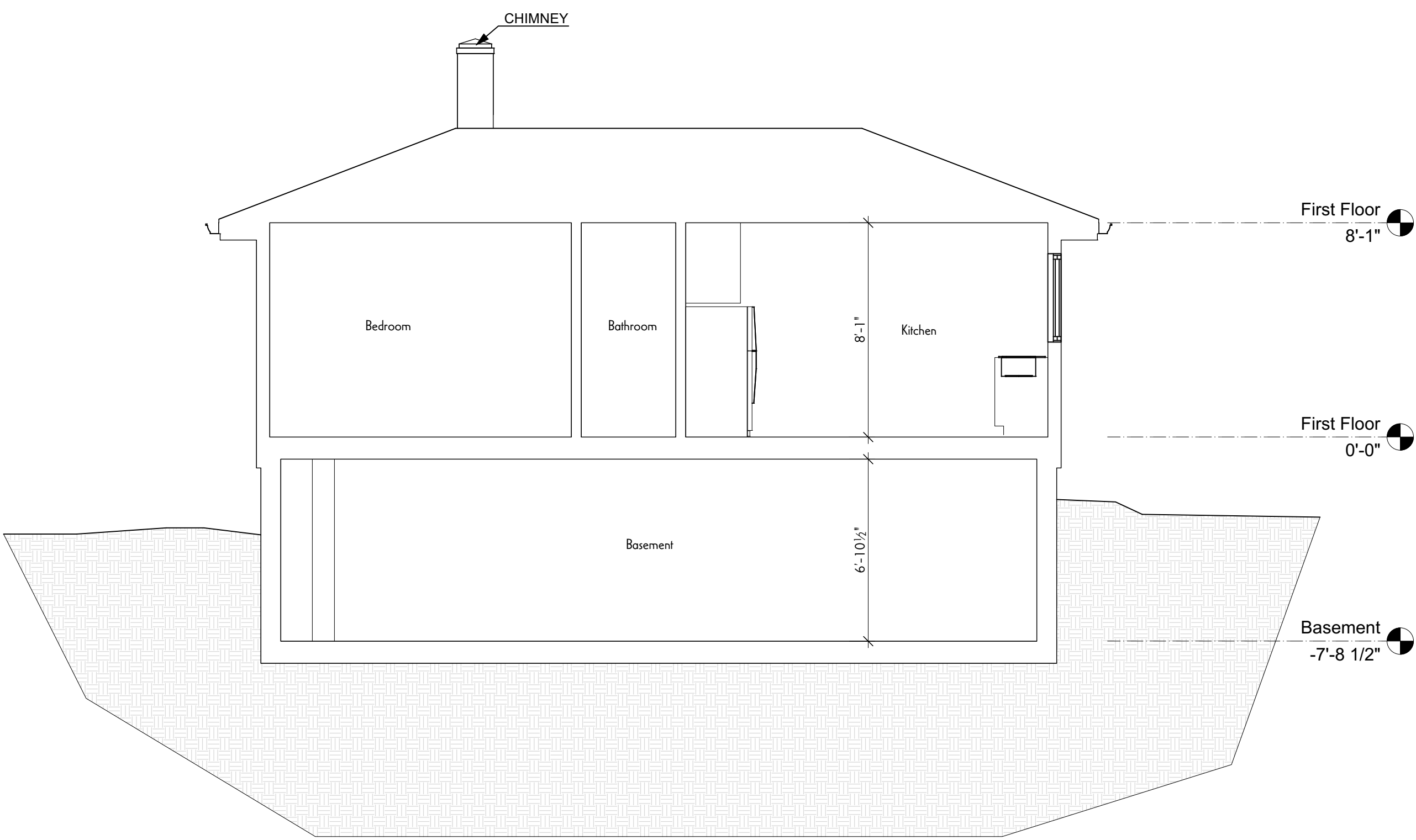
EvB Design **EvB**
1310 Broadway, Suite 200
Somerville, MA 02144

Date: 01/06/23

X2.3

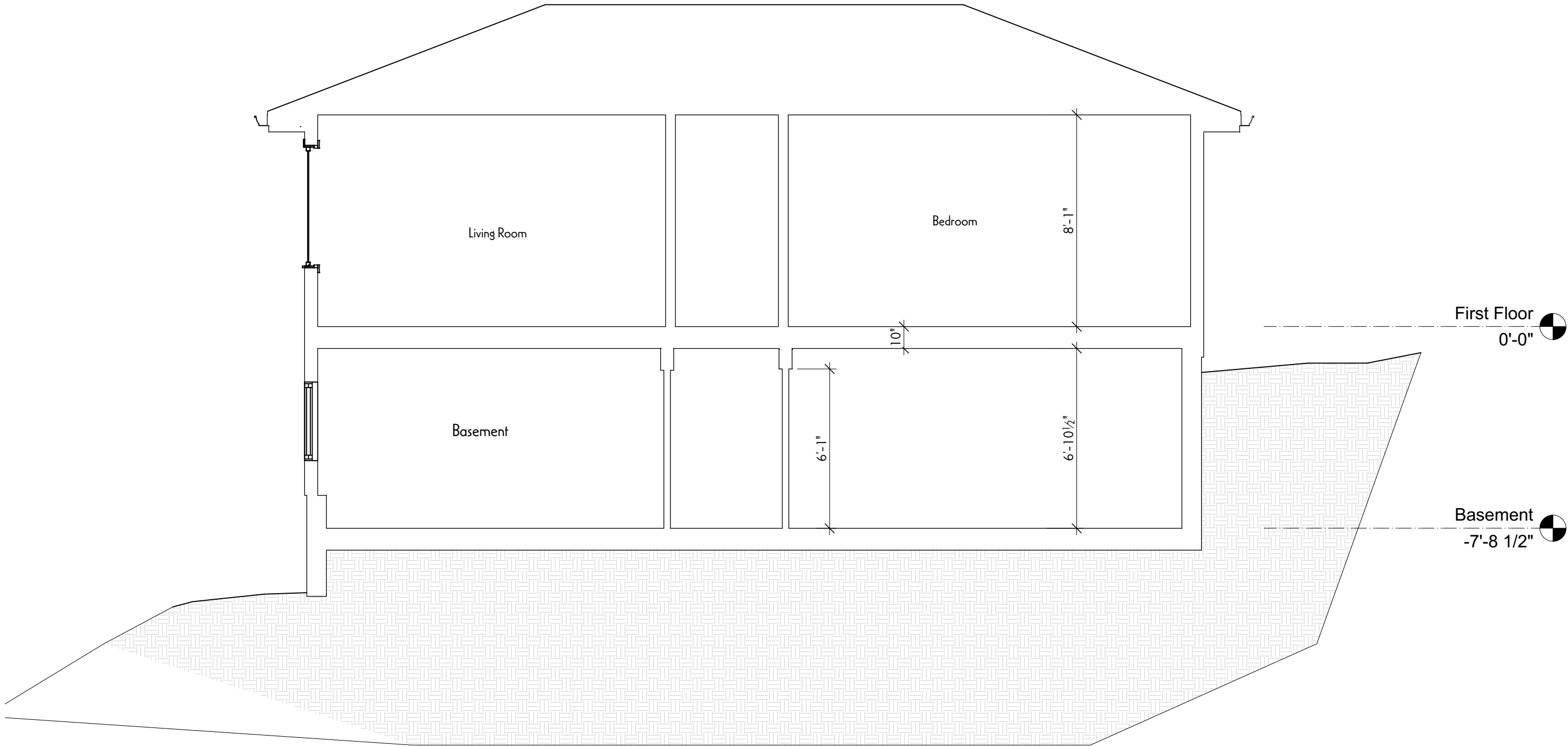


Spy Pond Cottage 212 Pleasant St Arlington, MA 02476		EvB Design EvB 1310 Broadway, Suite 200 Somerville, MA 02144		X2.4	
Date:		01/06/23			



1 Existing Building Section E-W
Scale: 1/4" = 1'-0"

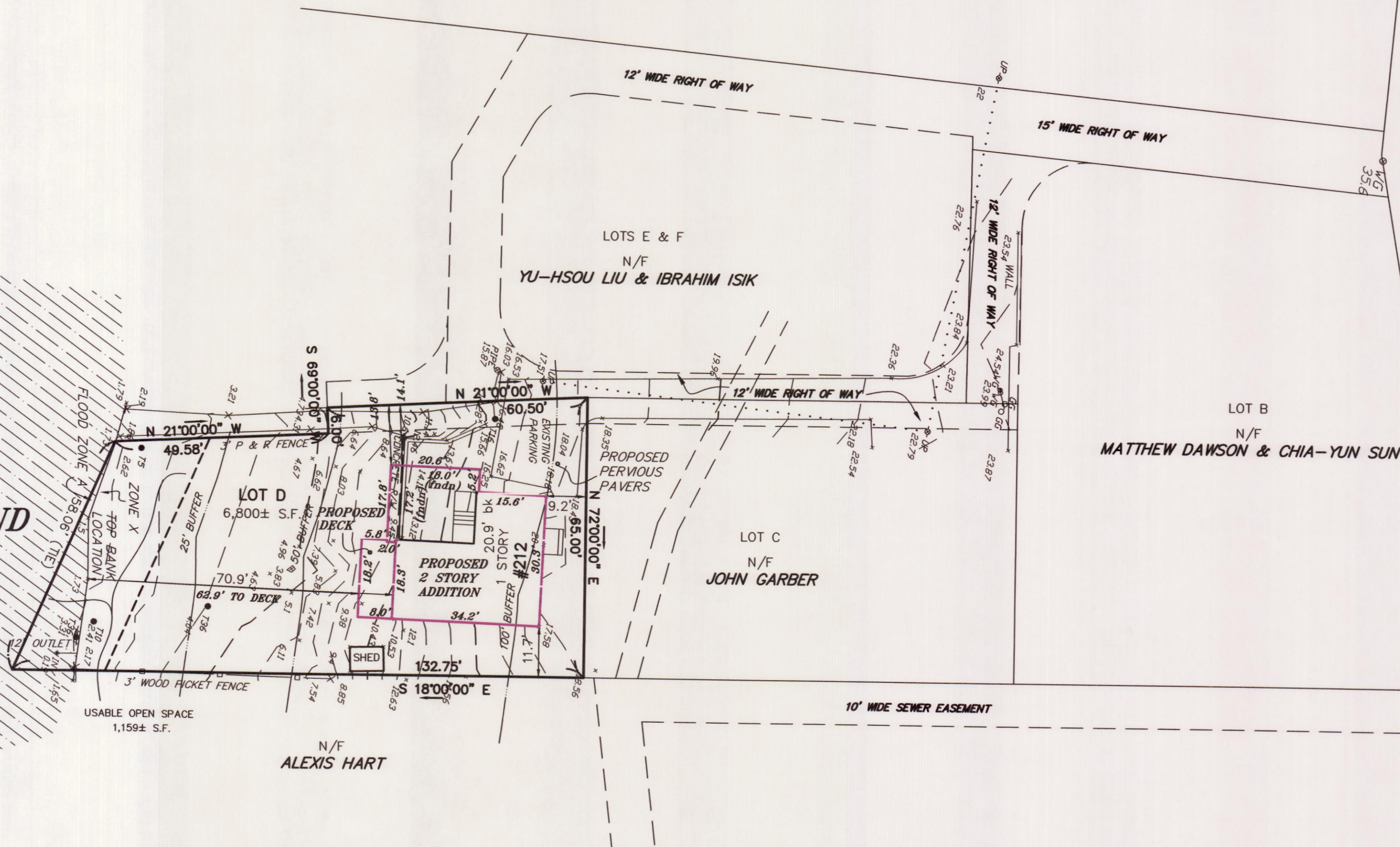
Spy Pond Cottage 212 Pleasant St Arlington, MA 02476		EvB Design EvB 1310 Broadway, Suite 200 Somerville, MA 02144		X3.1	
Date:	01/06/23				



2 Existing Building Section N-S
Scale: 1/4" = 1'-0"

Spy Pond Cottage 212 Pleasant St Arlington, MA 02476		EvB Design 1310 Broadway, Suite 200 Somerville, MA 02144		X3.2	
Date:		01/06/23			

SPY POND



PLEASANT STREET

PREPARED FOR: MARK HALLIDAY

NOTE: UP = UTILITY POLE

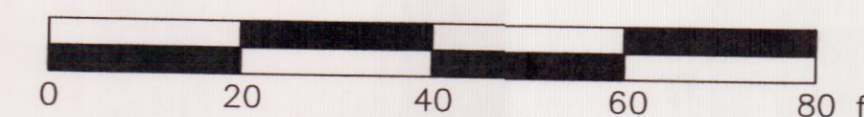
This Information Added by Rober Survey 3/27/2023

AVERAGE GRADE
(16.25+18.18)/2= 17.22
(18.18+17.58)/2= 17.88
(17.58+10.43)/2= 14.0
(10.43+9.45)/2= 9.94
(13.12+16.25)/2= 14.69
(17.22+17.88+14.0+9.94+14.69)/5 = 14.75
(17.22+17.88+14.0+9.94+14.69)/5 = 14.75
BASEMENT CEILING = 19
AVERAGE GRADE = 14.75

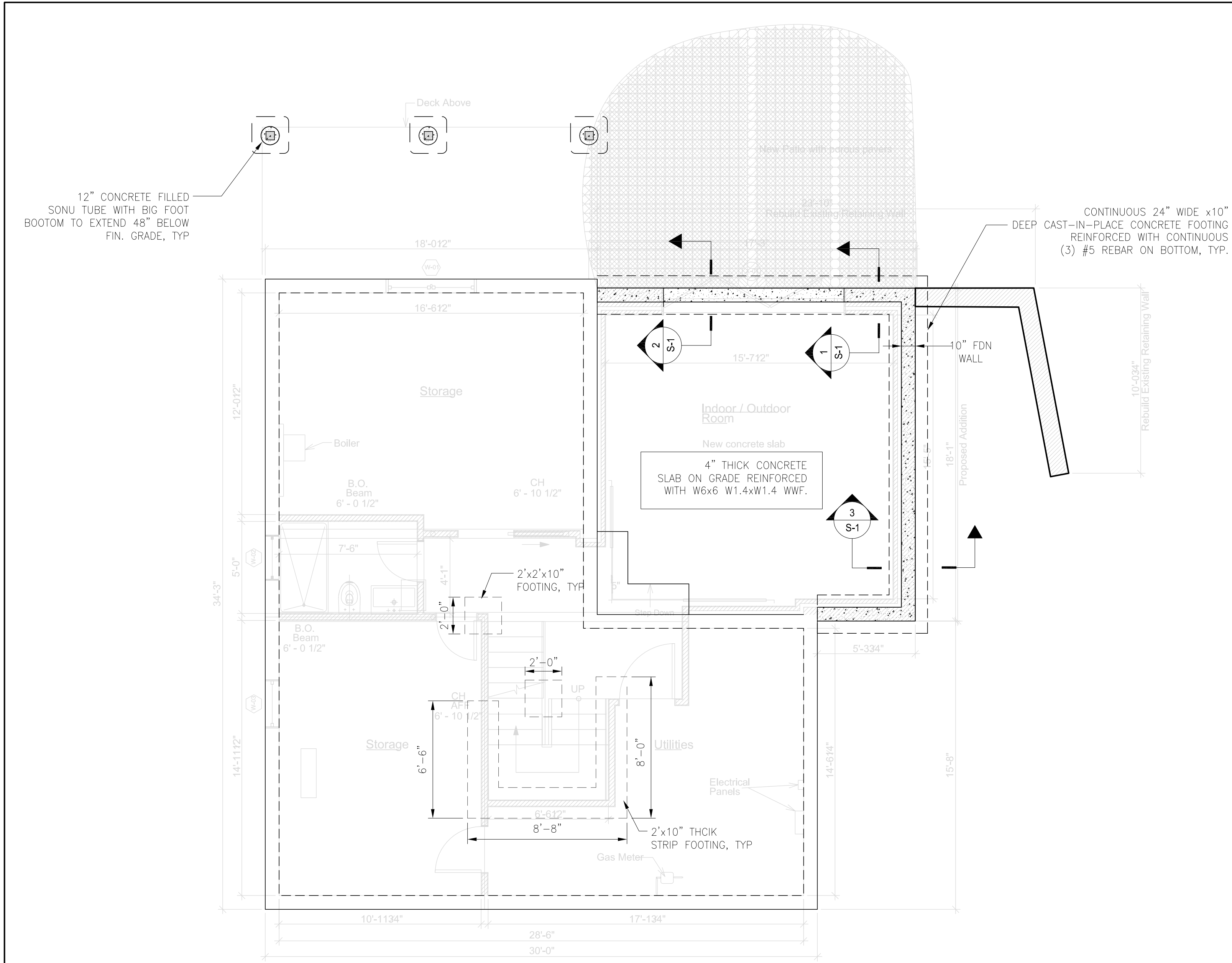
EXISTING BASEMENT = 12.2
EXISTING FIRST FLOOR = 20.0
EXIST. AVE. GRADE = 14.7
PROPOSED PEAK ELEVATION = 40.8
PROPOSED HEIGHT 26.1
EXIST. IMPERVIOUS = 1352.8± S.F.
PROPOSED IMPERVIOUS = 1,244.9± S.F.
PROPOSED GROSS FLOOR AREA (per architect) = 3,293± s.f.
EXISTING GROSS FLOOR AREA = 1,648± s.f.
EXISTING FLOOR AREA RATIO = 24.2%



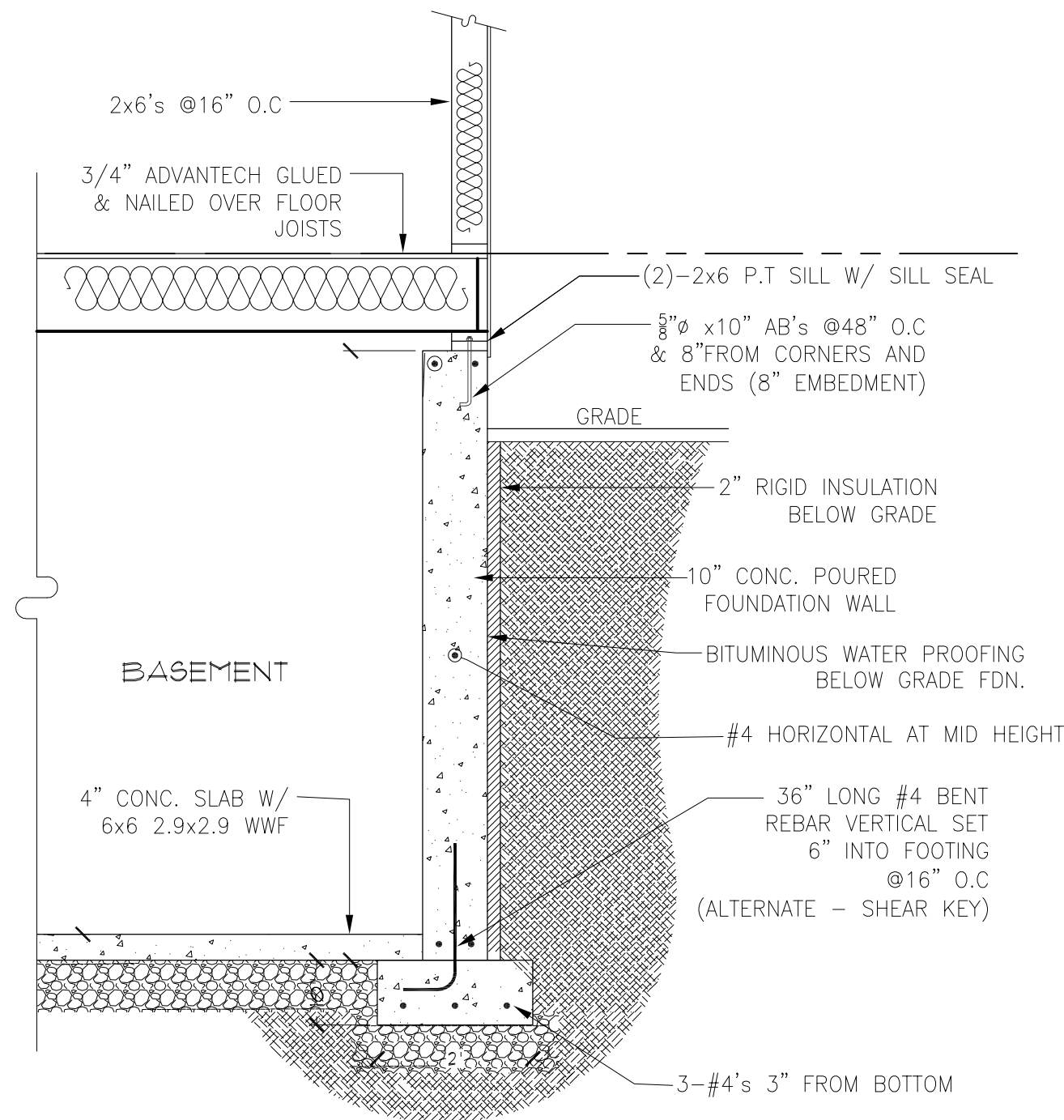
CONSERVATION PLAN
IN
ARLINGTON, MA
(MIDDLESEX COUNTY)
SCALE: 1"= 20' DATE: JANUARY 12, 2022



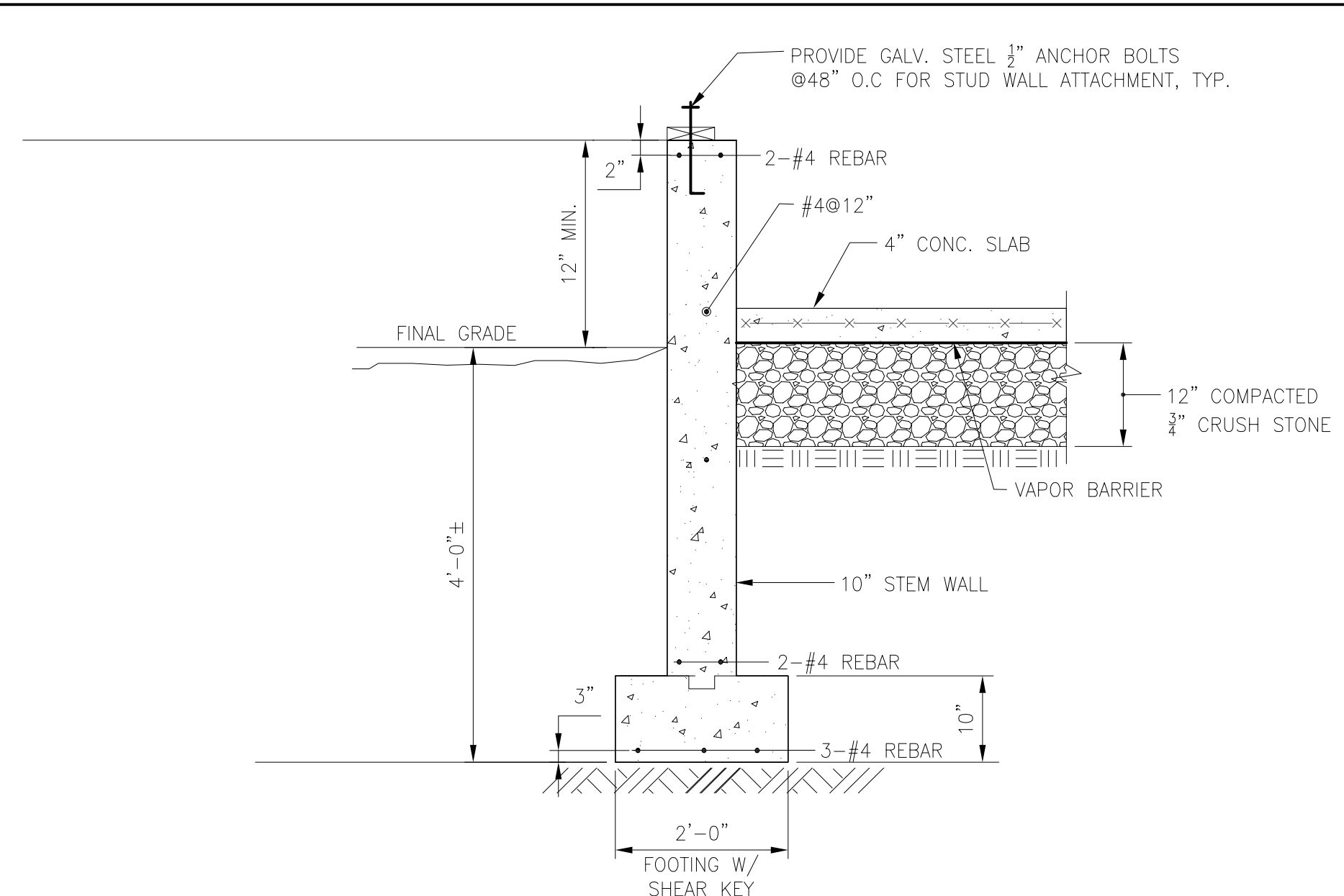
ROBER SURVEY
1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
6645PP1.DWG



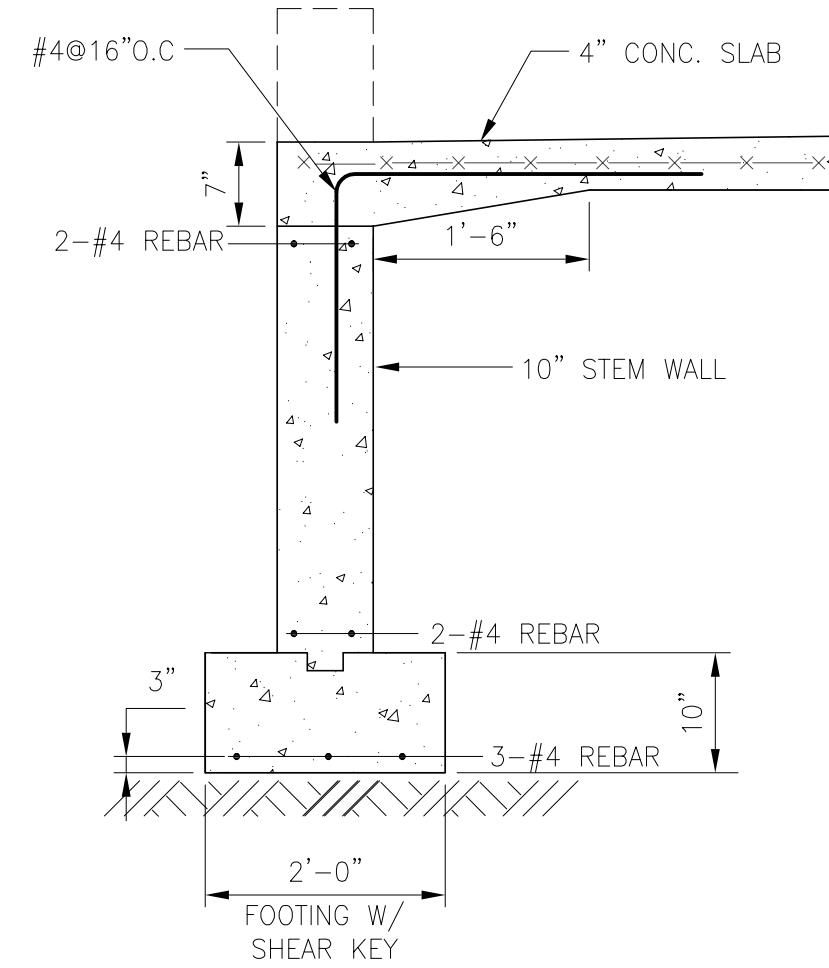
FOUNDATION PLAN
SCALE: 1/4=1'-0"



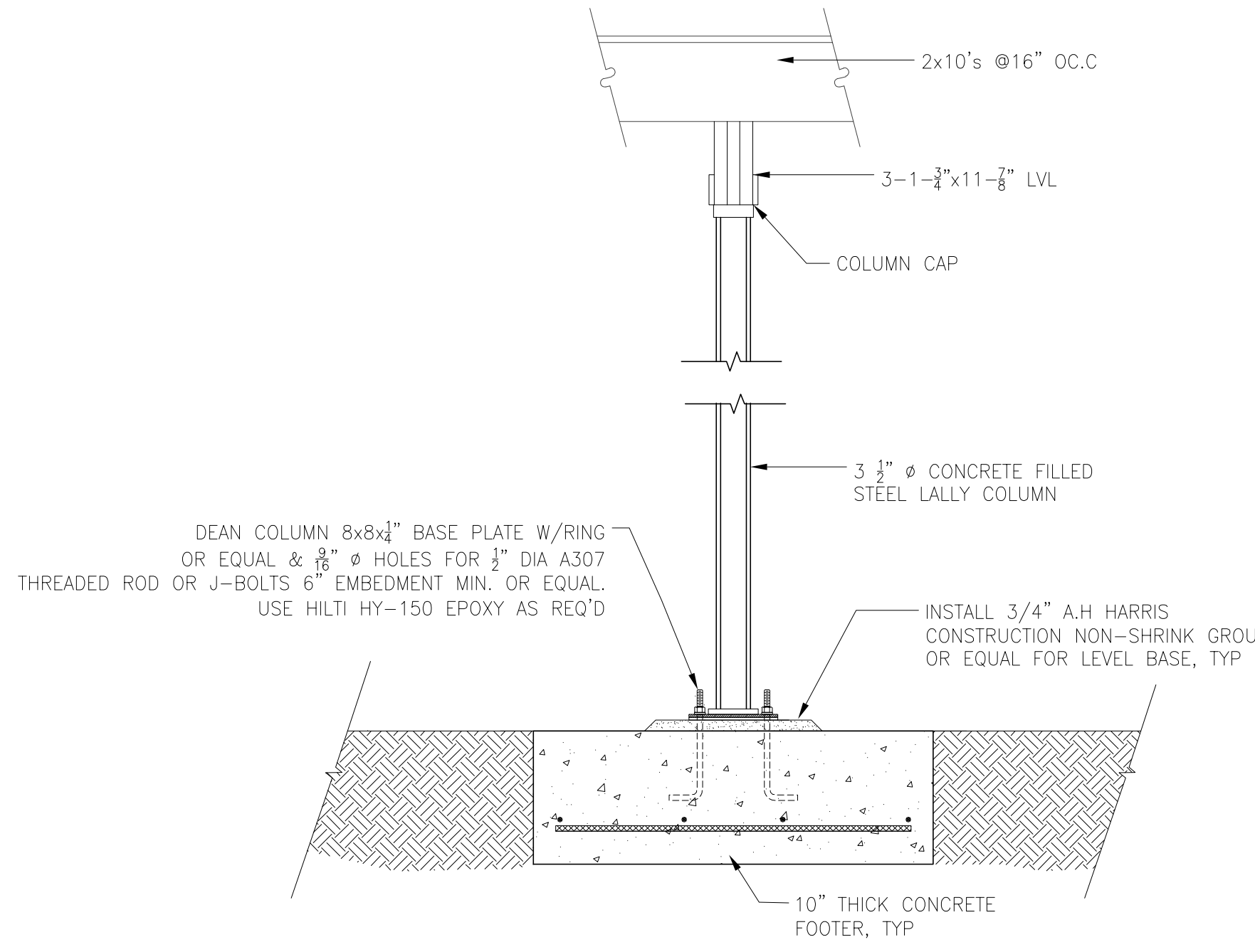
TYP. WALL DETAIL
SCALE: 1/2=1'-0"



SECTION 1
SCALE: 3/4=1'-0"



SECTION 2
SCALE: 3/4=1'-0"



LALLY TO FTG CONNECTION
SCALE: 3/4=1'-0"

RENOVATIONS TO 212 PLEASANT STREET ARLINGTON , MA



CONSULTANT
CJ Associates, LLC
Consulting Engineers
P.O. Box 13
Westborough, MA 01581
Phone - 617-869-2273
Email: cjassociatesma@gmail.com

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and/or installation and notify the owners
if there are any discrepancies between
drawings and actual conditions.

MARK	DATE	DESCRIPTION
	11-05-2022	PERMIT SET

PROJECT NUMBER:
DRAWN BY:
CHECKED BY: CJ

SHEET TITLE
**FOUNDATION &
DETAILS**

S-1

212 PLEASANT STREET
ARLINGTON , MA



Contractor shall verify in field all dimensions and relations to other work before fabrication and/or installation and notify the owners if there are any discrepancies between drawings and actual conditions.

PROJECT NUMBER:
DRAWN BY:
CHECKED BY: CJ

FIRST FLOOR FRAMING

8/11/2015 7:58:47 PM



RENOVATIONS

TO

212 PLEASANT STREET
ARLINGTON , MA



CONSULTANT

CJ Associates, LLC
Consulting Engineers
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Westborough, MA 01581
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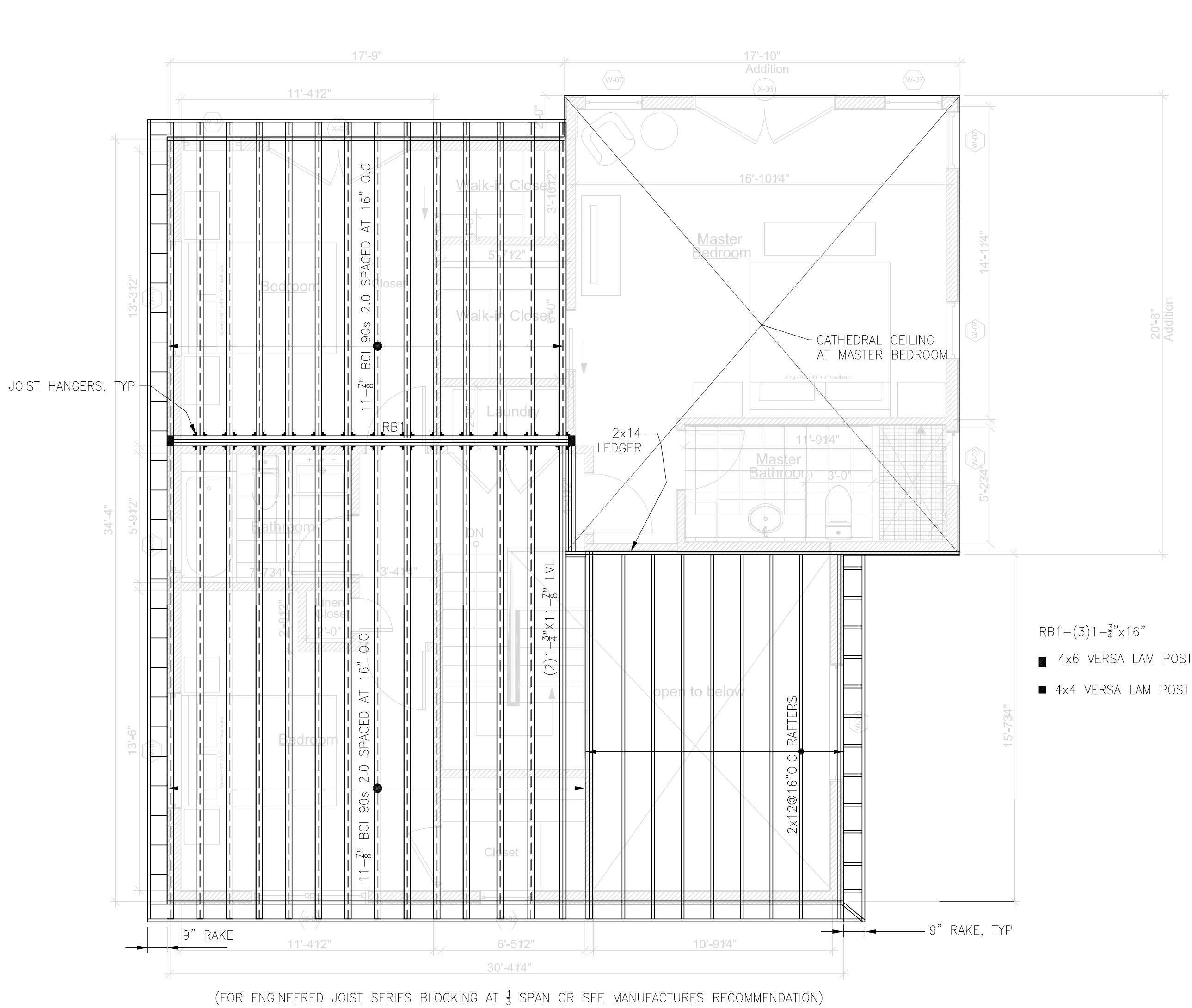
MARK	DATE	DESCRIPTION
	11-05-2022	PERMIT SET

PROJECT NUMBER:
DRAWN BY:
CHECKED BY: CJ

SHEET TITLE

2ND FLOOR FRAMING PLAN

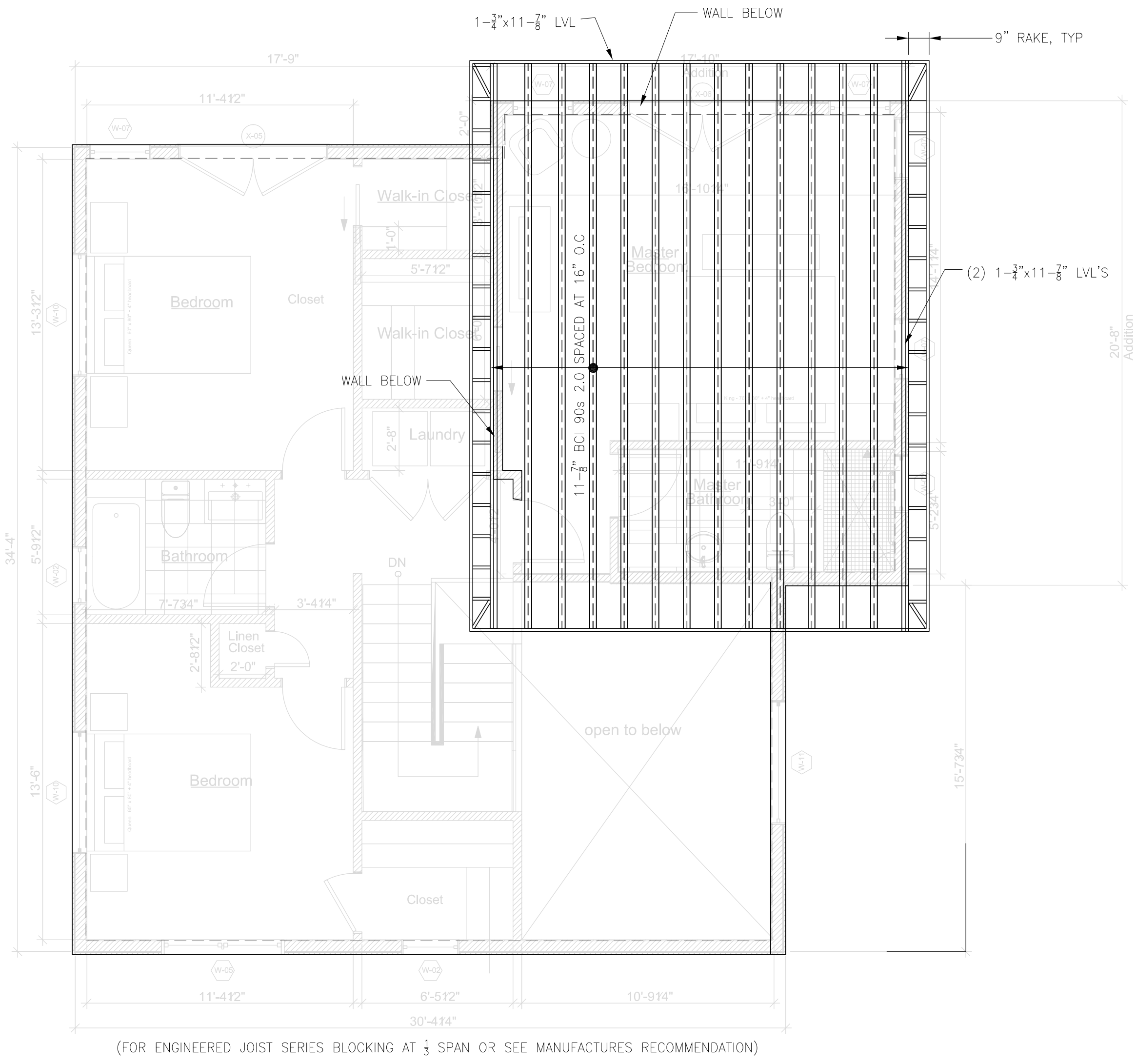
S-3



LOWER ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"

1



UPPER ROOF FRAMING PLAN

SCALE: 1/4"=1'-0"

1

STRUCTURAL LOADING INFORMATION

BASIC WIND SPEED (3 SECOND GUST SPEED)127 MPH
(CATEGORY II)
GROUND SNOW LOAD 40 PSF
ROOF DEAD LOAD 15 PSF
ATTIC LOAD (UNHABITATED SPACE--STORAGE ONLY) 20 PSF
1ST FLOOR 40 PSF
2ND FLOOR 30 PSF
FLOOR DEAD LOAD 10 PSF

CODES REFERENCED

NINTH EDITION 780 CMR--51.0
MASSACHUSETTS RESIDENTIAL CODE
AMENDMENT TO THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC)

GENERAL NOTES:

1. THE CONTRACTOR/OWNER SHALL INFORM THE ENGINEER OF ALL DISCREPANCIES BETWEEN DRAWINGS OF DIFFERENT TRADES, PRIOR TO INITIATION OF ANY WORK.
2. THE DESIGN IS IN ACCORDANCE WITH THE 2015 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC)
3. THE CONTRATOR SHALL BE COMPLETELY RESPONSIBLE FOR THE SAFETY OF ADJACENT STRUCTURES, PROPERTY AND THE PUBLIC.
4. WORK NOT INDICATED ON A PART OF THE DRAWINGS, BUT REASONABLE IMPLIED TO BE SIMILAR TO THAT SHOWN AT CORRESPONDING LOCATIONS, SHALL BE INCLUDED.
5. CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR THE COMPLIANCE OF ALL APPLICABLE STANDARDS, SPECIFICATIONS, MANUALS, CODES OR MANUFACTURE'S INSTRUCTIONS ASSOCIATED WITH HARDWARE, MATERIAL AND ASSEMBLY OF THE FRAMING AND FINISHING COMPONENTS. BEFORE UNDERTAKING SUCH WORK, CONTRACTOR OR OWNER SHALL CAREFULLY STUDY AND COMPARE DRAWINGS AND THE SPECIFICATION PACKAGE PREPARED FOR THIS PROJECT AND CHECK TO VERIFY PERTINENT FIGURES THEREIN ARE CONSISTENT WITH ALL APPLICABLE FIELD MEASUREMENTS. CONTRACTOR OR OWNER SHALL PROMPTLY NOTIFY IN WRITING TO ENGINEER OF RECORD ANY CONFLICT, ERROR , AMBIGUITY OR DISCREPENCY WHICH CONTRACTOR OR OWNER MAY DISCOVER AND SHALL OBTAIN A WRITTEN INTERPRETATION OR CLARIFICATION FROM CJ ASSOCIATES, LLC ON THAT SUBJECT BEFORE PROCEEDING WITH WORK AFFECTED THEREBY.
6. ALL DIMENSIONS SHOWN ARE TO BE VERIFIED IN THE FIELD PRIOR TO START OF CONSTRUCTION.
7. IF CONDITIONS ARE MET THAT VARY FROM THE DRAWINGS, THE CONTRACTOR OR OWNER SHALL MAKE NON--STRUCTURAL CHANGES IN THE FIELD AS REQUIRED IN CONFORMANCE WITH THE LATEST VERSION OF THE MASSACHUSETTS STATE BUILDING BUILDING CODE FOR ONE AND TWO FAMILY DWELLING. IF STRUCTURAL CONDITIONS CONFLICT WITH DETAILS SHOWN ON THE THE DRAWINGS, THE CONTRACTOR OR OWNER SHALL BRING THIS TO THE ATTENTION OF THE DESIGNER OR ENGINEER OF RECORD PRIOR TO WORK PROCEEDING ON THE AFFECTED STRUCTURAL ELEMENT(S).
8. THE MEASUREMENTS SHOWN ON THE PLANS ARE ONLY A REPRESENTATION OF THE FIELD MEASUREMENT TAKEN BY THE ENGINEER. CONTRACTOR IS RESPONSIBLE TO CONFIRM THESE MEASUREMENTS, AND IF THERE IS DISCREPANCY IT SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER/OWNER.

TEMPORARY SUPPORT DURING CONSTRUCTION:

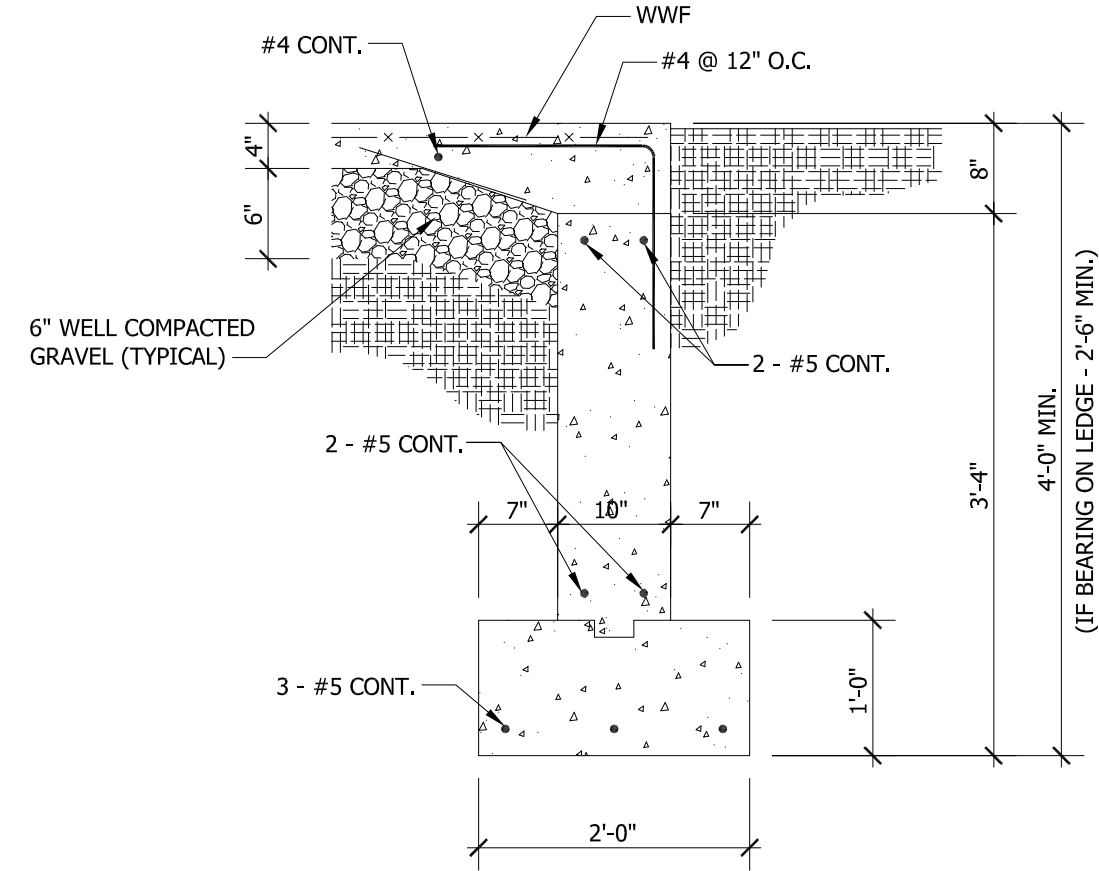
1. CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARILY SUPPORTING FLOOR/WALLS AS REQUIRED DURING THE CONSTRUCTION. THE PLAN ONLY DEPICT THE FINAL CONDITION OF THE STRUCTURAL MEMBERS INSTALLED AS PART OF THE STRUCTURAL MODIFICATION.

WOOD NOTES:

1. ALL STRUCTURAL LUMBER SHALL CONFORM TO THE LATEST EDITION OF THE AFPA "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND SUPPLEMENT "DESIGN VALUES FOR WOOD CONSTRUCTION".
2. ALL SAWN LUMBER FLOOR AND ROOF FRAMING SHALL BE SPRUCE: PINE--FIR NO. 1(KD--19) 19% MAX. MOISTURE CONTENT Fb=875 PSI, Fv=70 PSI, Fc =1200 PSI, FcL=425, Ft=425 PSI AND E=1,200,000 PSI OR APPROVED EQUAL.
3. DO NOT CUT, NOTCH OR DRILL HOLES IN MICRO LAM (LVL) OR PARALLEL LAM (PSL) BEAMS AND GIRDERS EXCEPT AS APPROVED BY E.O.R OR BASED ON MANUFACTURES RECOMMENDATIONS
4. STUDS SHALL BE "DOUBLED" UP ADJACENT TO OPENINGS, TYPICAL UNLESS NOTED OTHERWISE.
5. JOISTS SHALL BE ""DOUBLED" UP UNDER NON--BEARING STUD WALLS, TYPICAL.
6. HEADERS OVER OPENINGS SHALL BE MIN.3--2x6 LUMBER OR AS SHOWN ON DETAILS.
7. ALL SILLS SHALL BE PRESERVATIVE PRESSURE TREATED SOUTHERN PINE NO. 2 OR BETTER.
8. ALL FLUSH CONNECTIONS SHALL HAVE BEAM OR JOIST HANGERS.
9. FRAMING CONNECTORS FOR WOOD CONSTRUCTION SHALL BE OF SIZE, TYPE AND MATERIAL TO MEET ICBO APPROVAL FOR INDICATED DESIGN LOADS AS MANUFACTURED BY SIMPSON OR APPROVED EQUAL. PROVIDE HURRICANE ANCHORS AT ALL EAVE CONDITIONS WITH A MINIMUM 500 LB UPLIFT CAPACITY UNLESS OTHERWISE NOTED.
10. MINIMUM NAILING SHALL CONFORM TO THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE, UNLESS MORE STRINGENT REQUIREMENTS ARE INDICATED ON DRAWINGS.
11. ALL PLYWOOD SHALL HAVE STAGGERED JOINTS AND ALL NAILS SHALL BE THREADED AND SHALL BE BLOCKED SOLID AT EDGES.
12. PROVIDE FULL DEPTHWOOD BLOCKING AT ALL JOIST MIDSPAN WHERE SPANS EXCEED 8'-0" AND AND AT 8'-0" O.C.MAX SPACING FOR SPANS EXCEEDING 16'-0".
13. NOT ALL WOOD MEMBERS ARE SHOWN ON THE STRUCTURAL DRAWINGS. GC SHALL COORDINATE ALL DRAWINGS TO DETERMINE THE GEOMETRY REQUIRED AND SIZE ALL MISCELLANEOUS PIECES AS NECESSARY TO COMPLETE THE JOB.
14. FLOOR SUBFLOOR SHALL BE 3/4" C-D INT--STRUCTURAL 1 PLYWOOD TONGUE AND GROOVE NAILED TO FLOOR CONSTRUCTION IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE.(BLOCK ALL EDGES).
15. ALL ENGINEERED BEAMS SHALL BE VERSA LAM 2.0E 3100 OR EQUIVALENT & COLUMNS TO BE VERSA LAM 1.7 FLOOR CONSTRUCTION IN ACCORDANCE WITH THE MASSACHUSETTS STATE BUILDING CODE.(BLOCK ALL EDGES).
16. ALL DIMENSION LUMBER EXPOSED TO EXTERIOR ELEMENTS SHALL BE PRESSURE TREATED (P.T) WOOD.

ROOF FRAMING NOTES:

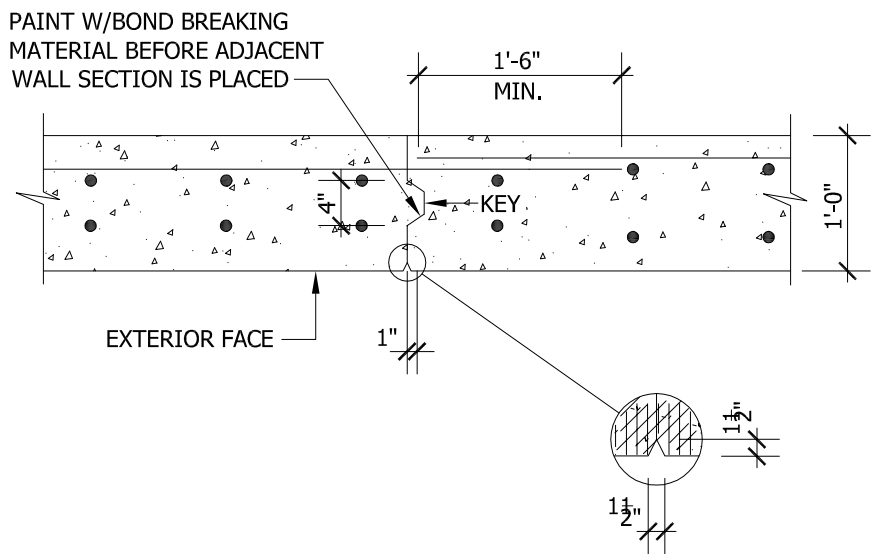
1. 30 YEAR ASPHALT SHINGLES ON #30 BUILDING PAPER AT ALL NEW ROOF, BLEND TO EXISTING.
2. ALL ROOF SHEATHING SHALL BE 5/8" TONGUE AND GROOVE CDX PLYWOOD
3. 3'-0" WIDE ICE AND WATER SHIELD AT ALL ROOF/WALL JUNCTIONS.
4. GENERAL CONTRACTOR TO PROVIDE FLASHING PER MANUFACTURES INSTALLATION REQUIREMENTS AT ALL ROOF/WALL JUNCTIONS.
5. CONTINUOUS ROOF VENT TYPICAL.
6. ALUMINUM DRIP EDGE.
7. ALUMINUM GUTTERS AND DOWNSPOUTS.
8. 1x8 FASCIA & SOFFIT WITH 2" CONTINUOUS VENT 2xSUB--FASCIA. 1x2 TRIM
9. USE SIMPSON HURRICANE CLIPS AS REQUIRED BY STATE BUILDING CODE/IRC.
10. GENERAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY BRACING AND SHORING TO AVOID EXCESSIVE STRESSES AND HOLD STRUCTURAL ELEMENT IN PLACE DURING CONSTRUCTION
11. ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILING ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN AND/OR SNOW.
12. VENTILATION OPENING SHALL HAVE A LEAST DIMENSION OF 1/16" MINIMUM AND 1/4" SHALL BE PROVIDED WITH CORROSION--RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH OR SIMILAR MATERIAL WITH OPENING HAVING A LEAST DIMENSION OF 1/16" MINIMUM AND 1/4" MAXIMUM.



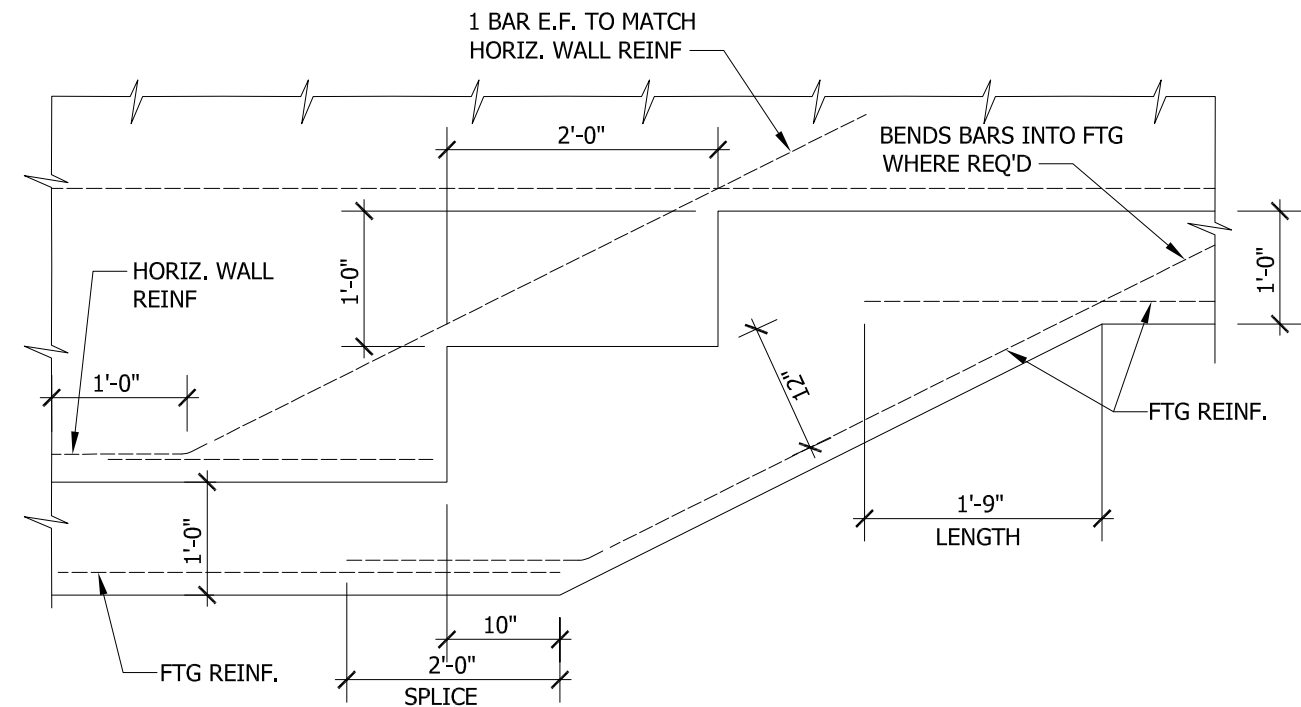
1 GARAGE ENTRY FOUNDATION SECTION
SCALE : 3/4" = 1'-0"

NOTES:

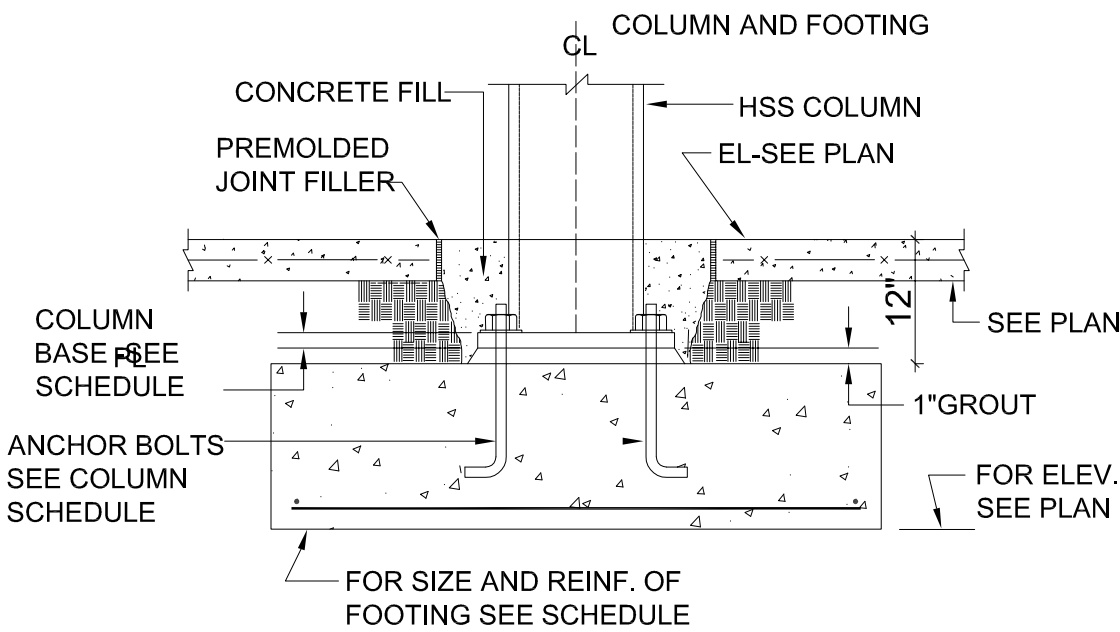
1. CONSTRUCTION JOINTS SHALL BE PROVIDED AT INTERVALS OF 40 FT.
2. PROVIDE A 3/4" V GROOVE AT EXTERIOR FACE WHEN WALLS IS 1'-0" OR GREATER ABOVE FINISH GRADE TO 6" BELOW GRADE



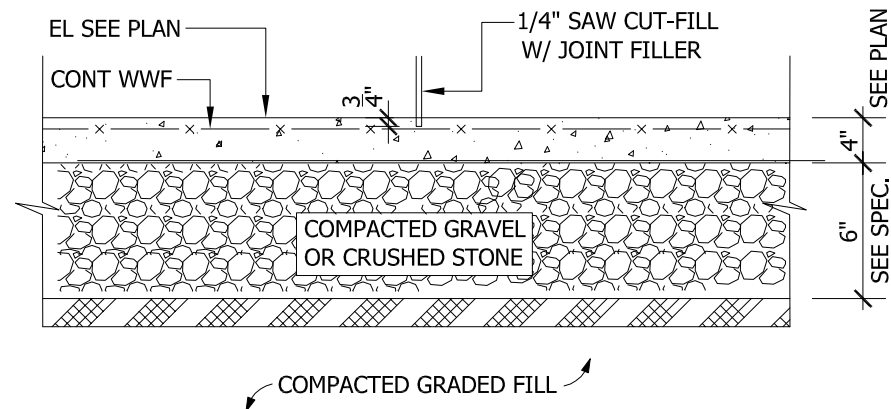
3 CONSTRUCTION JOINT DETAIL
SCALE : 3/4" = 1'-0"



5 STEPPED FOOTING DETAIL
SCALE : 3/4" = 1'-0"



4 TYPICAL COLUMN FOOTING DETAIL
SCALE : 3/4" = 1'-0"



6 SLAB ON GRADE / CONTROL JOINT DETAIL
SCALE : 3/4" = 1'-0"

RENOVATIONS
TO

212 PLEASANT STREET
ARLINGTON, MA



CONSULTANT

CJ Associates, LLC

Consulting Engineers

P.O. Box 13

Westborough, MA 01581

Phone - 617-869-2273

Email: cjassociatesma@gmail.com

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MARK	DATE	DESCRIPTION
	11-05-2022	PERMIT SET

PROJECT NUMBER:

DRAWN BY:

CHECKED BY: CJ

SHEET TITLE

NOTES & DETAILS

S-4

RENOVATIONS
TO

212 PLEASANT STREET
ARLINGTON, MA



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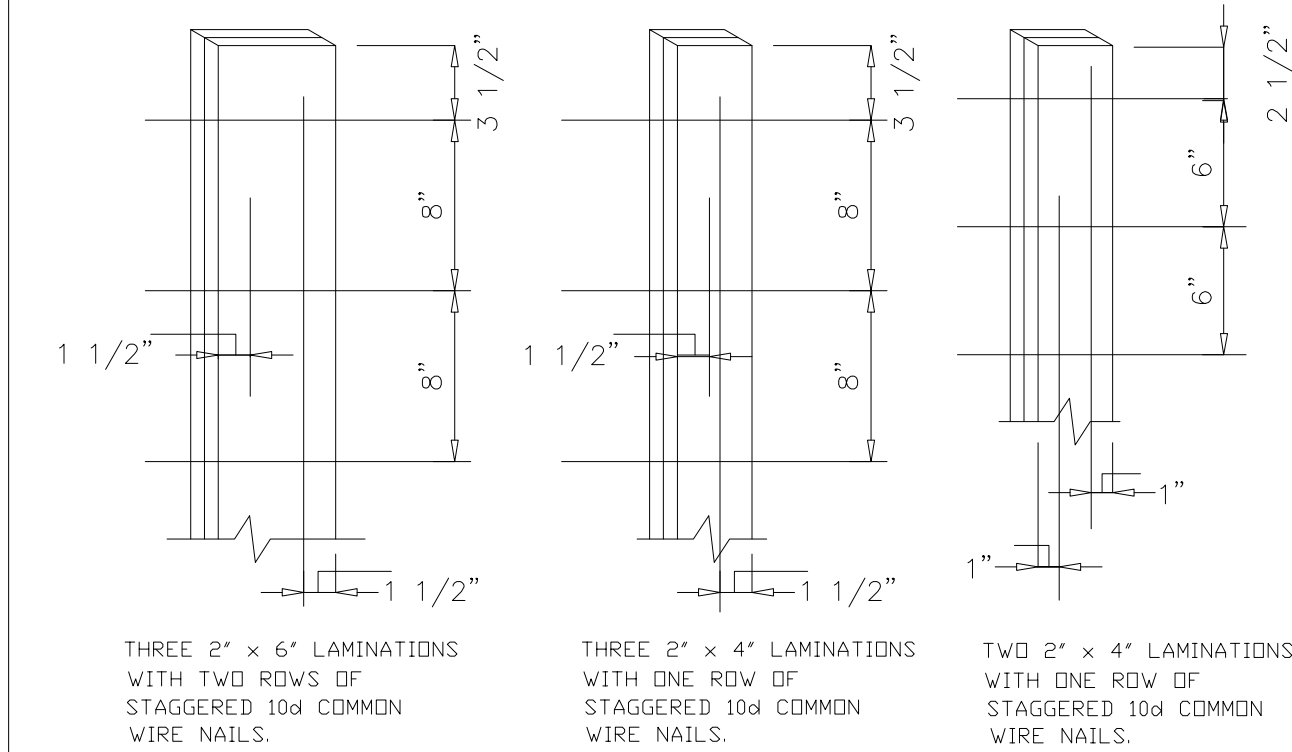
MARK	DATE	DESCRIPTION
	11-05-2022	PERMIT SET

PROJECT NUMBER:
DRAWN BY:
CHECKED BY: CJ

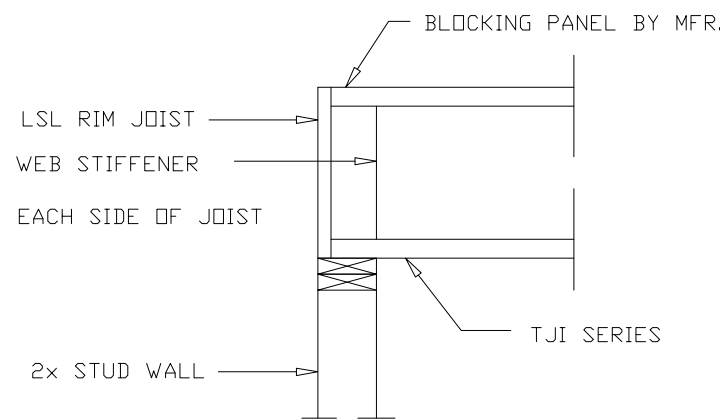
SHEET TITLE

TYPICAL DETAILS

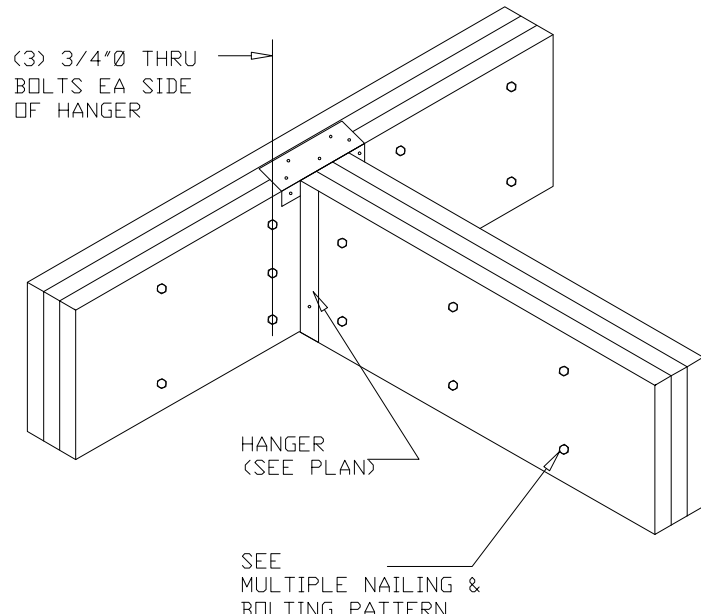
S-5



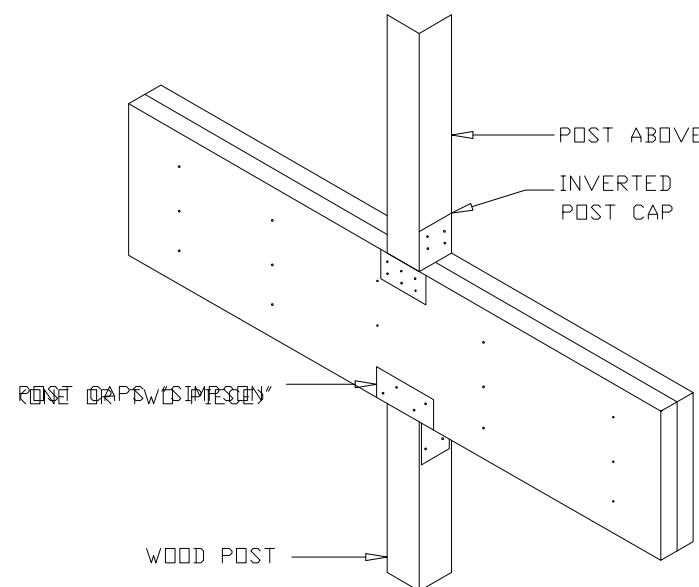
1 TYPICAL NAILING SCHEDULES FOR BUILT-UP COLUMNS
SCALE : N.T.S.



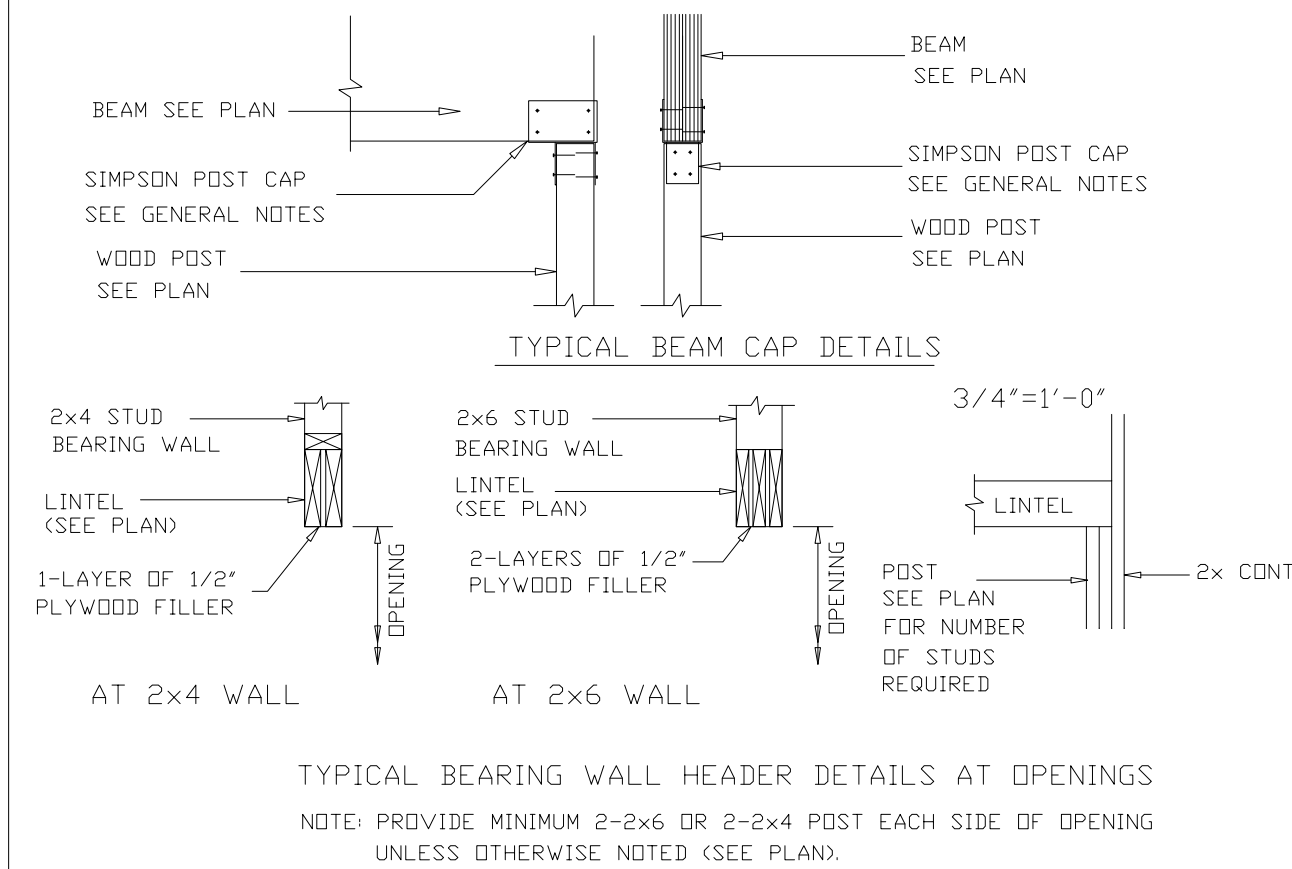
2 WALL BEARING DETAIL AT ENGINEERED JOISTS
SCALE : N.T.S.



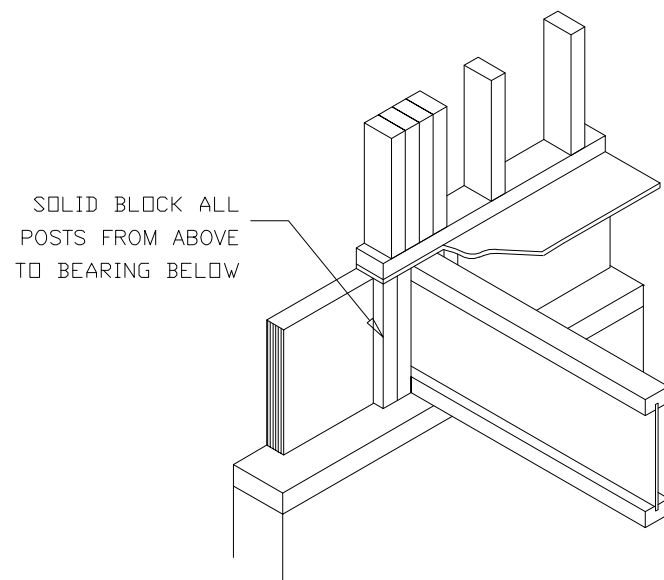
3 INTERSECTING LVL DETAIL
SCALE : N.T.S.



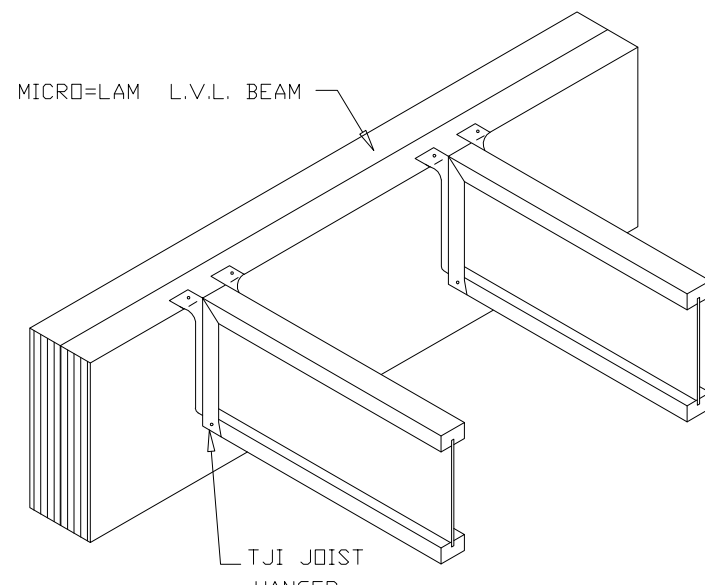
4 BEARING DETAIL AT LVL INTERIOR SUPPORT
SCALE : N.T.S.



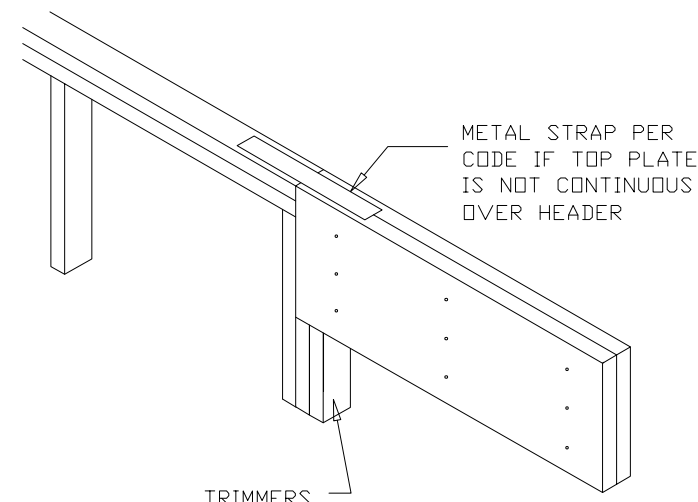
5 TYP. BEAM CAP & BEARING WALL HEAD DETAILS AT OPENINGS
SCALE : N.T.S.



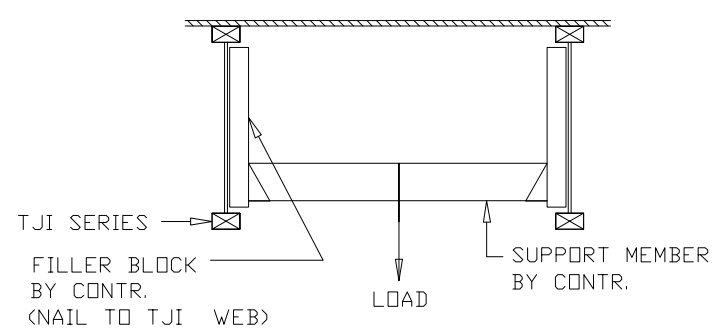
6 CRIPPLE STUD DETAIL AT ENGINEERED JOISTS
SCALE : N.T.S.



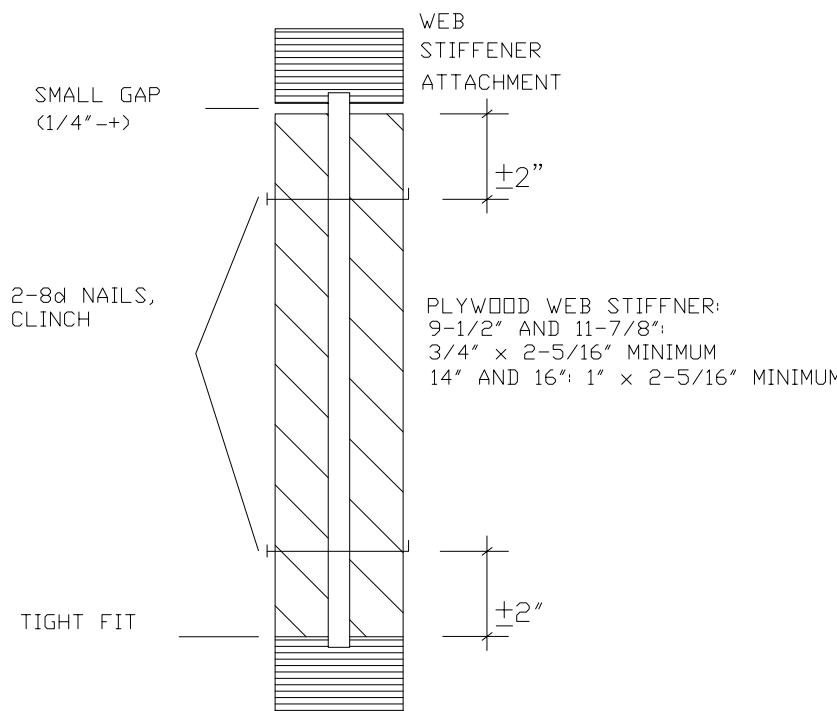
7 TYPICAL LVL BEAM DETAIL AT ENGINEERED JOISTS
SCALE : N.T.S.



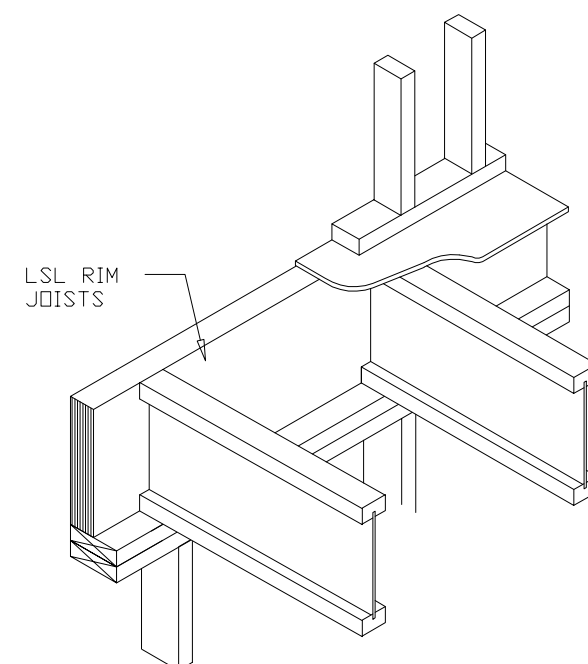
8 TYPICAL END BEARING DETAIL AT LVL BEAM
SCALE : N.T.S.



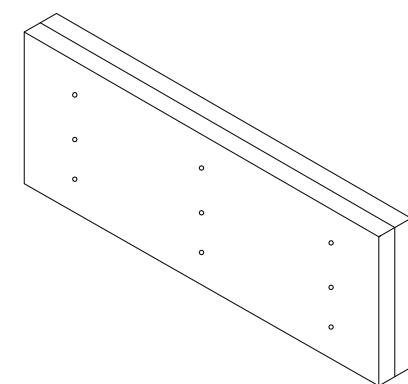
9 INTERMEDIATE SUPPORT FOR HUNG ITEMS AT ENGINEERED JOISTS
SCALE : N.T.S.



10 WEB STIFFENER NAILING DETAILS
SCALE : N.T.S.



11 EXTERIOR STUD BEARING DETAIL AT ENGINEERED JOISTS
SCALE : N.T.S.



12 MULTIPLE LVL NAILING & BOLTING PATTERN
SCALE : N.T.S.

Large Addition ByLaw

- (6) Large Additions. No alteration or addition which increases the gross floor area of a building by the lesser of (a) 750 square feet or more, or (b) 50% or more of the building's gross floor area on the date of application for a permit or

Town of Arlington Zoning Bylaw

District Regulations / 5-19

because of cumulative alterations or additions during the previous two years, shall be allowed unless:

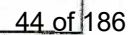
- The addition is constructed entirely within the existing foundation, or
- The Board of Appeals, acting pursuant to Section 3.3, finds that the alteration or addition is in harmony with other structures and uses in the vicinity.

In making its determination, the Board of Appeals shall consider, among other relevant facts, the proposed alteration or addition's dimensions and setbacks in relation to abutting structures and uses and its conformity to the purposes of this Bylaw as set forth in Section 1.2. The increase in gross floor area used to determine the applicability of this section shall only include additions outside the existing footprint of the building.

Exemption for Energy Efficient Homes

- (8) Exemption for energy efficient homes on R0, R1 or R2 lots with an existing principal building. The minimum frontage and lot area requirements shall not apply to homes constructed to the lower of either (i) Home Energy Rating System (HERS) Score of 44 or below, or (ii) the maximum allowed HERS Score defined in the International Energy Conservation Code as adopted and amended by Massachusetts, and:
- The new structure is built within the existing foundation footprint, or with an addition that is not a Large Addition as defined in Section 5.4.2.B(6) or
 - By special permit.

REVISÉD 7-27-2023



Yard, Front: A yard extending for the full width of the lot between the front line of the nearest building wall and the front lot line.

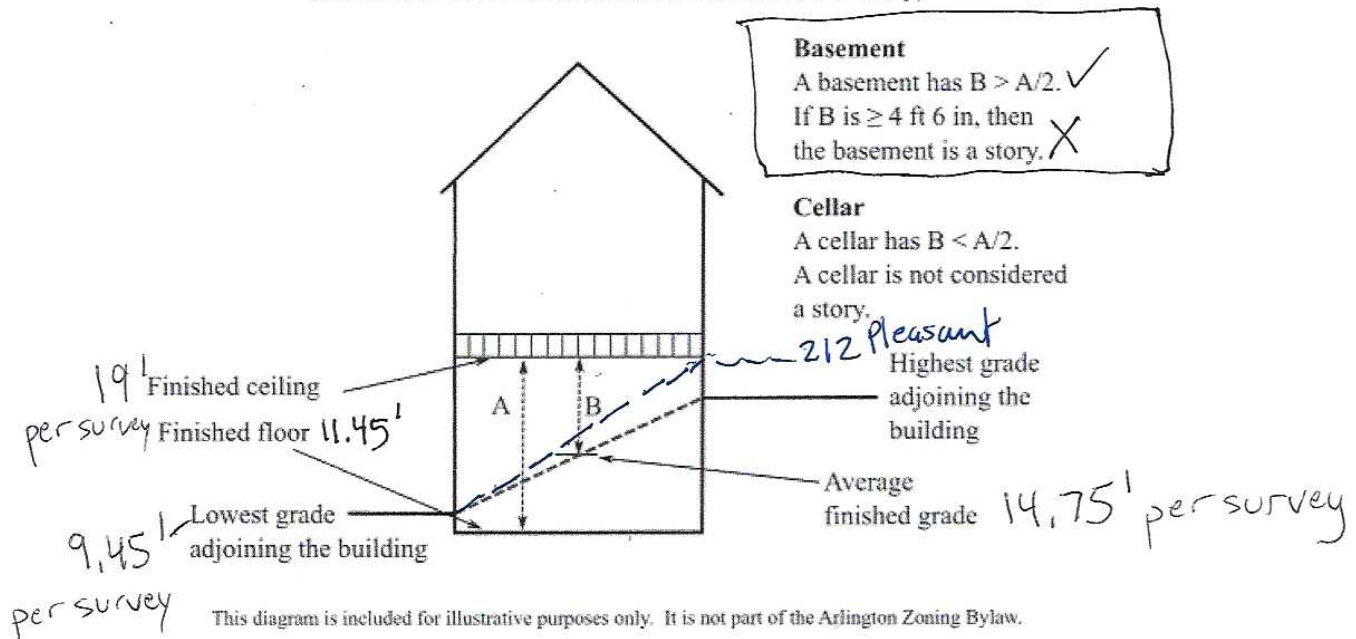
Yard, Rear: A yard, unoccupied except by an accessory structure or accessory use as herein permitted, extending for the full width of the lot between the rear line of the nearest building wall and the rear lot line.

Yard, Side: A yard unoccupied, except by an accessory structure or use as herein permitted, between the line of the building wall and a side lot line extending from the front yard to the rear yard. In the case of a lot having no street frontage or a lot of odd shape, any yard that is not a front yard or a rear yard shall be considered a side yard.

Zoning Board of Appeals: The Zoning Board of Appeals of the Town of Arlington, Massachusetts ("Board of Appeals" or "ZBA").

Illustration of Basement and Cellar

(See Section 2, Definitions: Basement, Cellar, and Story)



$$B = 19' - 14.75' = 4.25' \quad (4' 3")$$

$$A = 19' - 11.45' = 7.55' / 2 = 3.775'$$

$B > A/2 \therefore$ ~~lower level~~ lower level is a basement
 $B < 4' 6" \therefore$ lower level is not a story

REVISED 7-27-2023

Calculation of Open Space, Usable and Landscaped			
	Existing Sq Ft	Proposed Incl on Existing Footprint	% of total lot
Gross Floor Area	1,648	3,293	
Total Lot Square Footage			6,800
Not Useable			
House Footprint	822.00	1,176.00	
Parking Area *	480.00	638.00	
Steps to side door **	36.00	49.00	
Steps to front door	12	24	
Shed	80	80	
Total Not Usable	1,430	1,967	28.93%
Open Space (back yard)			
Area not included in usable open space	2,652	2,652	
Usable Per Rober Survey	1,159	1,159	17.04%
As % of GFA	70.33%	35.20%	
Open Space, Landscaped			
Rear Deck	0.00	146.00	
Front Walkway	50.00	36.00	
Walkway to side steps	0.00	11.50	
Semi-porous patio	0.00	225.00	
Steps to Pond	360.00	360.00	
Side and Front yard, Landscape strips	1148.75	243.25	
Total Open Space, Landscaped	1,559	1,022	15.03%
As % of GFA	94.58%	31.03%	

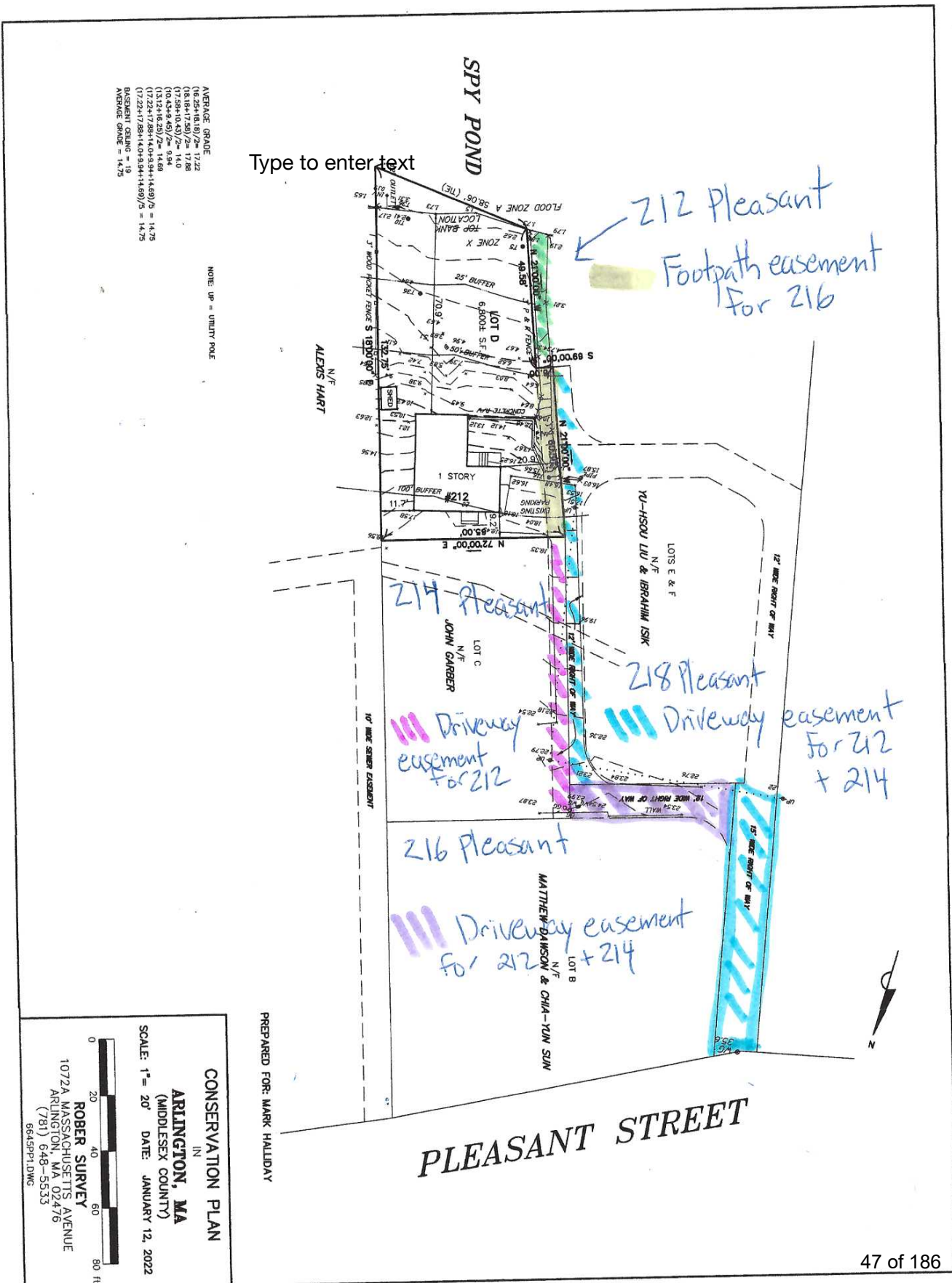
Grand Total	6,800.00	6,800.00	
Additional Dimensions / Ratios			
	Existing	Proposed	
Floor Area Ratio (GFA/Total Lot)	24.24%	48.43%	
Lot Coverage	12.09%	17.29%	

REVISED 7-27-2023

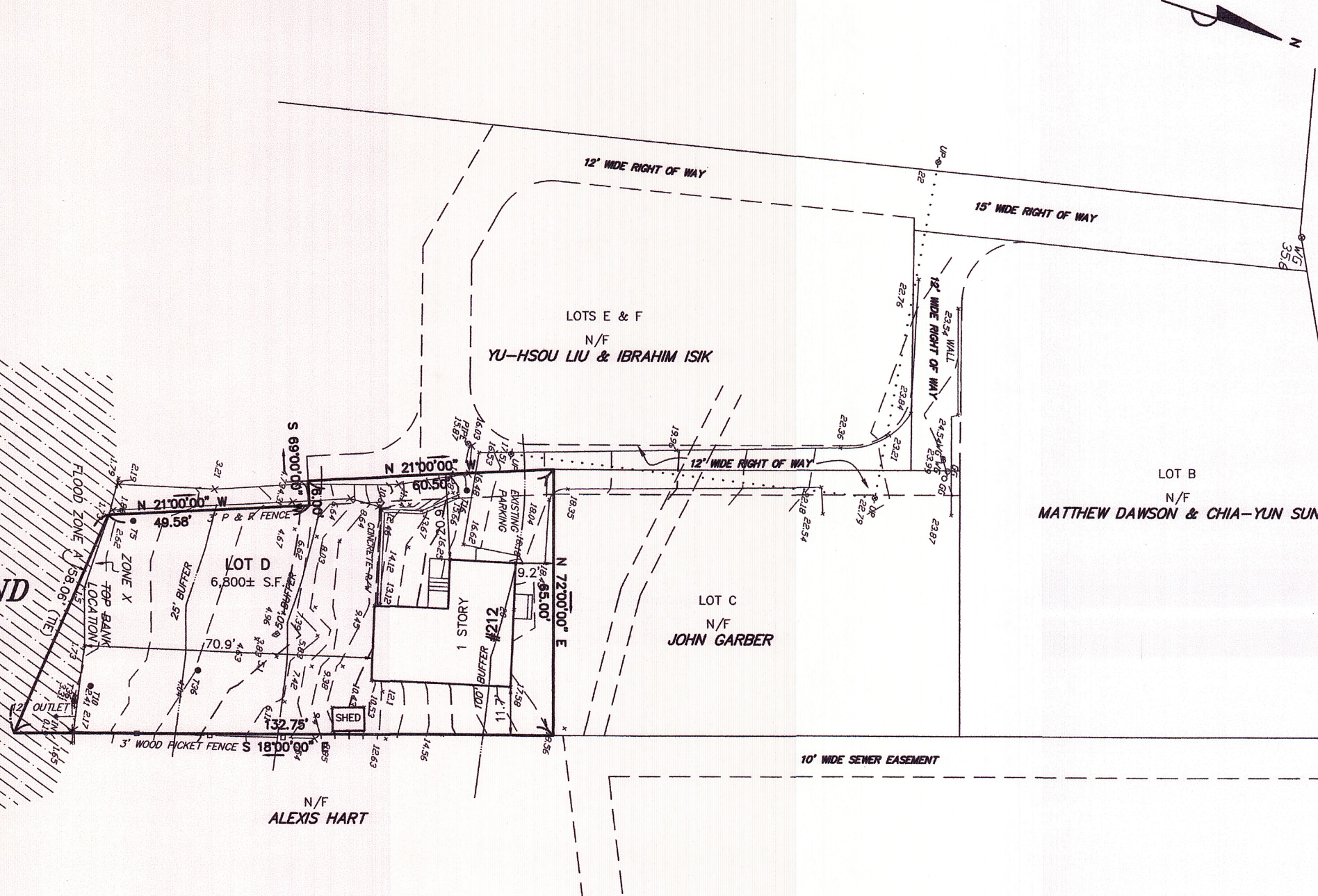
Slopes Verification	
Minimum Requirement 30% GFA	30%
GFA	3,293.00
Minimum sq ft usable open space required	987.9
Length bottom of lot ((abutting Spy Pond)	52 feet
Minimum width required	25 feet
Total square footage in OS slope calculation	1,300.00 sq ft

Average Slopes of Minimum Required Open Space	
Average Elevation at shoreline	2.18
Avg Elevation 25'(min required width from shoreline	3.63
Average grade change in 25' OS area	1.45
Width of buffer	25.00
Average Existing Slope in 25' buffer	5.78%

Driveway Ownership - 212 has an easement over all the segments from Pleasant Street to the property boundary



SPY POND

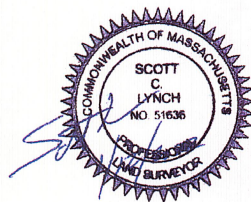


PLEASANT STREET

PREPARED FOR: MARK HALLIDAY

AVERAGE GRADE
 (16.25+18.18)/2= 17.22
 (18.18+17.58)/2= 17.88
 (17.58+10.43)/2= 14.0
 (10.43+9.45)/2= 9.94
 (13.12+16.25)/2= 14.69
 (17.22+17.88+14.0+9.94+14.69)/5 = 14.75
 (17.22+17.88+14.0+9.94+14.69)/5 = 14.75
 BASEMENT CEILING = 19
 AVERAGE GRADE = 14.75

NOTE: UP = UTILITY POLE



CONSERVATION PLAN
 IN
ARLINGTON, MA
 (MIDDLESEX COUNTY)
 SCALE: 1"= 20' DATE: JANUARY 12, 2022

0 20 40 60 80 ft

ROBER SURVEY
 1072A MASSACHUSETTS AVENUE
 ARLINGTON, MA 02476
 (781) 648-5533
 6645PP1.DWG



TOWN OF ARLINGTON
DEPARTMENT OF PLANNING and
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS 02476
TELEPHONE 781-316-3090

MEMORANDUM

To: Zoning Board of Appeals
From: Claire Ricker, AICP, Director, Dept. of Planning and Community Development
Marisa Lau, Senior Planner
Date: 3/24/2023
RE: Docket 3733 – 212 Pleasant Street; Special Permit under Zoning Bylaw 5.4.2.B(6)
Districts and Uses (Large Additions)

The applicant, Nellie Aikenhead, seeks a Special Permit in accordance with Section 5.4.2.B(6) Districts and Uses (Large Additions) of the Zoning Bylaw. The applicant seeks to construct a two-story addition to a one-story single-family home. The addition would increase the total square footage from 822 SF to 2,175 SF (+1,353 SF or a 165% increase over the existing structure). Under the proposal the lot coverage would increase from 12.1% to 17.3% (+5.2%).

The existing structure is located on an interior lot in the R1 Zoning District and is nonconforming with the Zoning Bylaw's frontage and side yard requirements on the northern side. The proposed addition would extend the building footprint 5 feet 3 inches into the western side yard decreasing the setback from 20 feet 9 inches to 15 feet 6 inches (10 feet required). The footprint would also be extended approximately 2 feet into the rear (southern) yard. A cantilevered rear porch is proposed. The building height would increase from 17 feet 3.5 inches to 26 feet 1 inch under the proposal (+8 feet 9.5 inches). The addition would not increase any of the existing nonconformities.

The following is an application of the Special Permit criteria (Zoning Bylaw Section 3.3.3):

Criterion #1: Requested Use

The requested use is permitted through a Special Permit in the R1 zoning district.

Criterion #2: Public Convenience/Welfare

This proposal would provide additional living space.

Criterion #3: Undue Traffic Congestion/Impairment of Public Safety

There would not be an increase in traffic congestion or an impairment of public safety.

Criterion #4: Undue Burden on Municipal Systems

There would not be an undue burden on municipal systems.

Criterion #5: Special regulations

This proposal would not result in the need for special regulations.

Criterion #6: Integrity/Character of District; Detrimental to Health, Morals, Welfare

The proposal includes an indoor/outdoor room in the basement, a two-story addition located in the rear yard, and a new upper level with 999 SF of gross floor area.

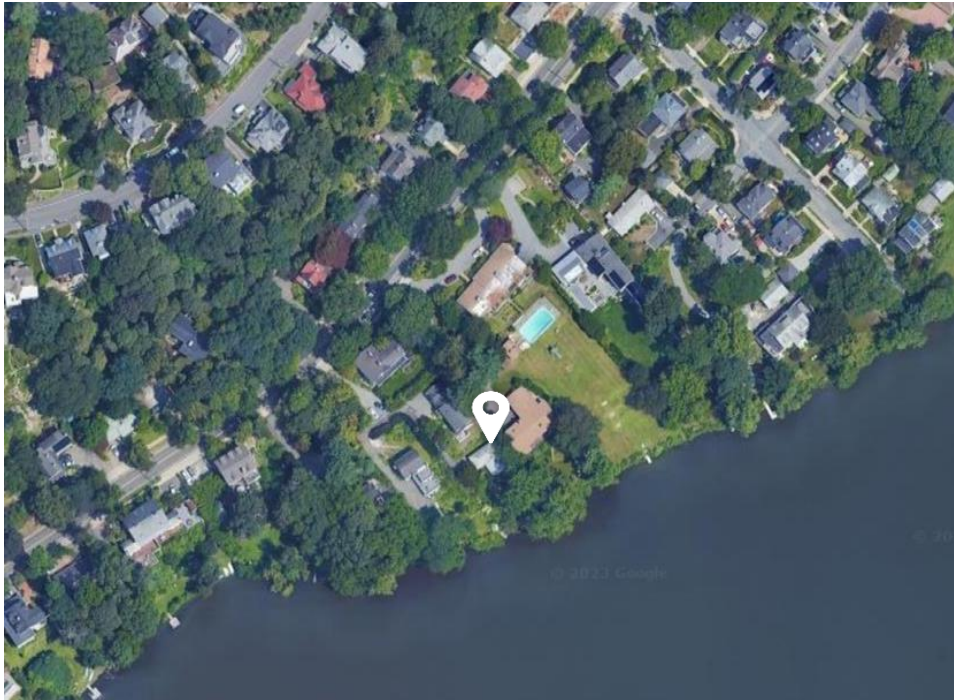
The subject property is located on an interior lot that abuts Spy Pond along the rear property line. The property is approximately 200 feet from the nearest public way, which is Pleasant Street. Homes in the vicinity include a range of architectural styles, typically Colonial, Old Style, and Cape-style as well as some Ranch and contemporary-style homes to the east of Pleasant St. The addition is designed to complement the scale and style of adjacent homes in the neighborhood. The proposed design includes a flat roof that reduces the impact of the increased mass of the addition.¹ Overall, this proposal would not detrimentally impact the neighborhood character of the district or adjoining districts, nor will it be detrimental to the health, morals, or welfare of the neighbors of the property.

The property is within the Pleasant St. Historic District and the proposed project has been issued certificates of appropriateness by the Arlington Historic District Commission for exterior changes.

Criterion #7: Detrimental Excess in Particular Use

There would not be any detrimental excesses.

Below are aerial and street-based photos of the current building:



¹ Residential Design Guidelines, Principles A-1, A-2, B-1, B-3 and C-1
<https://www.arlingtonma.gov/home/showpublisheddocument?id=54518>



Summary of Analysis:

The Department of Planning and Community Development (DPCD) maintains that this proposal is consistent with the Special Permit criteria in Section 3.3.3, A through G, of the Zoning Bylaw.

Related Dockets:

- #3709: 49 Valentine Rd – Applicant sought a special permit to create a large addition of 882 square feet to their single family home for additional living space. Approved 8/30/22.
- #3699: 68 Brantwood Rd – Applicant sought a special permit to create a large addition of 2,028 square feet to their single-family home citing a desire to update and modernize their childhood home for their family. Approved 6/14/22.
- #3688: 44 Edmund Rd – Applicant sought a special permit to create a large addition of 776 square feet to their single-family home to accommodate a growing family. Approved 5/24/22.



**TOWN OF ARLINGTON
PLEASANT STREET
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS**

AT A MEETING OF THE COMMISSION DULY HELD ON

Date: June 23, 2022

IT WAS VOTED TO GRANT THIS CERTIFICATE OF APPROPRIATENESS (22-26P) TO

Name: Nellie Aikenhead and Mark Halliday

Address: 54 Brantwood Road, Arlington MA 02476

WITH RESPECT TO THE PROPERTY LOCATED IN SAID DISTRICT AT

Address: 212 Pleasant Street, Arlington, MA 02476

FOR THE FOLLOWING WORK ONLY, WHICH HAS BEEN DEEMED NOT TO HAVE AN INCONGRUOUS EFFECT ON THE HISTORIC ASPECTS OR ARCHITECTURAL CHARACTER OF THE BUILDING OR DISTRICT.

AS DESCRIBED IN APPLICATION AND ACCOMPANYING REVISED DOCUMENTATION PRESENTED AT FORMAL HEARING ON 6/23/2022, CONSTRUCTION OF AN ADDITION AND OTHER EXTERIOR CHANGES SUBJECT TO THE CONDITIONS THAT THE EXTERIOR ENVELOP BE ALL WOOD AND THE FINAL MATERIAL SPECIFICATIONS MUST BE APPROVED BY THE MONITOR PRIOR TO ORDERING AND INSTALLATION.

NOTE: All work shall be carried out strictly as illustrated and specified in the application hereto and as may have been modified by the Commission. The term "match" if used herein means the exact replication in material, dimension, configuration, spacing, pattern, texture, finish and (where appropriate) color. Any additional work outside the scope of this certificate, or material deviation therefrom, may NOT be initiated without a new certificate or modification of this certificate by the Commission.

The Project Monitor for this certificate is **Charles Barry (617) 680-4399; charles@thoughtforms-corp.com**. Any further modifications of design or construction documents must be consistent with this certificate. Such documents shall be submitted to, and all work is subject to final acceptance by, the Project Monitor. Said Monitor may approve substitutions or modifications arising from unforeseen circumstances only to the extent they do not deviate from the intent of this certificate. Such approvals shall in no way relieve the applicant from other appropriate regulations or necessary permits and shall not be construed as professional advice in any form. The Commission reserves the right to report all significant deviations from this certificate to the Director of Home Improvement Contractor Registration.

This certificate is granted with the conditions that, unless noted, the work shall be completed within one year from the date of this certificate and that it shall be incorporated into any agreements between the applicant and his contractors. Although the Building Permit may be general in nature, it does not override the particularity of this Certificate which is to be considered incorporated into the Permit whether or not a copy of it is actually attached thereto.

By Order of the Commission:

6/28/22
Dated


Stephen Makowka, Chair

Applicant__ Building Insp.__ Orig./Exec. Sec. ☒ Monitor__ Town Clerk__ Chair__ File__

August 27, 2023

Dear Arlington Zoning Board of Appeals,

We are the homeowners of 218 Pleasant Street, and together with our neighbors, we strongly oppose the project being proposed at 212 Pleasant Street. We expressed many concerns earlier when Nellie and Mark first submitted a request for a special permit back in February. We have attempted to communicate with them multiple times since then, and still, we haven't received information for all of the changes they are proposing or answers to our concerns. We were the ones to suggest a meeting when we found out they submitted a new request to the ZBA. We are very frustrated that the plans have not changed and that they are unable to provide information to reassure us that our homes and properties will not be harmed.

Our home is on the right side of 212 Pleasant Street and like the cottage, it is also waterfront property. We live on a tight cul de sac that we share with 212, 214, and 216 Pleasant Street and all of our homes are very close to one another. So close we can hear one another's conversations if we leave our windows open! We treasure our home because of Spy Pond, wildlife, and natural beauty and because of the good relationships we've built with the residing neighbors.

The distance from the proposed house to our property is concerning. On the application, it says the right side yard distance from the existing cottage to our property line is 20' 9" and with the addition this will go down to 15' 6". However, when we zoom into the proposed plot plan, we see 13' 6" as the distance from the proposed house to our property (See Attachment A). We'd like to know what is the correct distance? When we are dealing with a very tight space where we are all living very closely, a difference of 2' is a big deal. We would like this figure corrected in the application as well as in the Department of Planning Community Development's memo to the ZBA dated March 24, 2023. We do not feel confident that the application to the ZBA represents the plans correctly.

That's why we also want to understand Nellie and Mark's plans for the backyard. We do not know where they are building retaining walls or where they are flattening the land. This has big impacts on us. Both of our pond-front properties are very steep and fragile. 212 Pleasant Street's backyard already has a big erosion hole. Any changes to 212 Pleasant Street's yard because of building new foundations and retaining walls and filling and removing the dirt could have serious consequences in terms of how water flows and soil erodes on our property. We want to make sure the plans include all of the changes and are reviewed by an engineer. We asked for an engineering plan to reassure us that our home and land will not be harmed. None has been provided.

The application says there is parking for two cars at the cottage and this will remain the same. However, if you visit and drive there in person, you will see how only one car can park in the space. Only one car has been parked at the cottage with previous owners. There is not enough space to turn around so that you can park two normal cars and exit with your car facing forward.

There has been a lot of trouble caused by parking two cars there. Drivers are reversing down the shared driveway and then using 214 Pleasant's or 218 Pleasant's driveway to turn around. Nellie's and Mark's tenants damaged our driveway with a UHaul truck doing this. More importantly, this change in traffic is dangerous to our families, especially our young children who play outside.

We would like to see the plans for how they are changing the parking area at 212 Pleasant Street. We cannot tell from the existing and proposed plans how it is being enlarged from 480 square feet to 638 square feet. We find this square footage only on calculations of open space but not on plot plans (Attachment B). We have had a survey done and we want to know the bigger parking area is not on our property or blocking 216 Pleasant's easement. We also want to understand what changes to the land will have to be made to make room for the much larger parking space. We are concerned that the applicant cut down a protected tree to create more space. Another worry is how changing the parking area with permeable materials could impact our home. We want an engineer to review complete plans so we are not worried about the water in the ground damaging our property and foundation.

In the architect's plans, the large addition will have a side porch and steps off the right of the house. We are not sure whether they meet the minimum yard requirements in the bylaw (5.3.9. Projections into Minimum Yards). There are no dimensions for the porch and steps provided in the drawing but it looks like the porch will go out about 5' and including the steps, about 7.5' from the house. We see what might be the side porch on the proposed plot plan but not the steps that go towards our property line. See Attachment C. We would like a clear drawing and measurement to know whether the porch and steps go into the 10' setback required from our property line, and if so, whether they meet regulations.

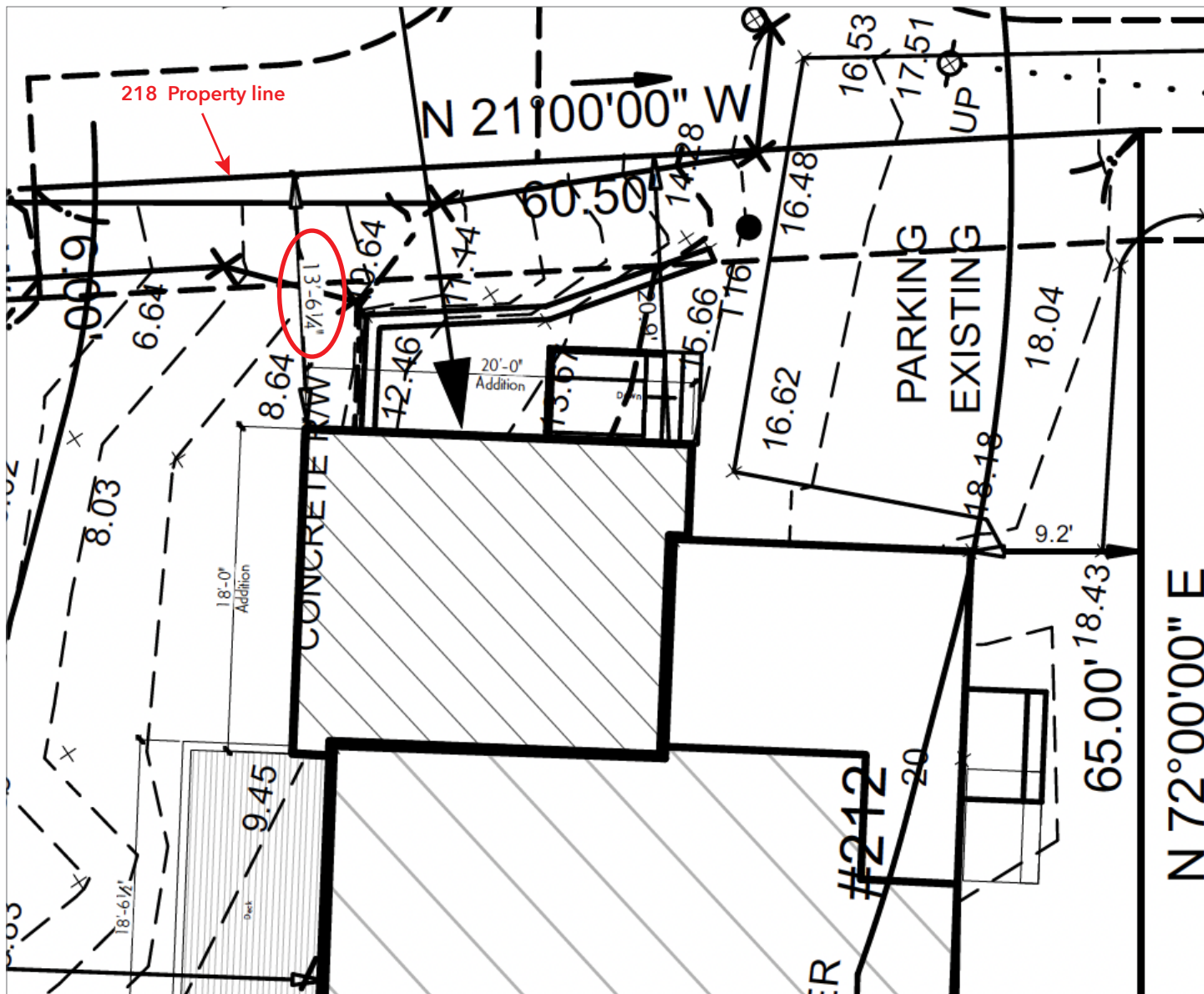
Again, this is a small and unique neighborhood. A cozy 1-bedroom cottage belongs here, not a large 3,300 square feet, 4-bedroom house. Our light, air, and views will be blocked, there will be more noise, less privacy, and less enjoyment in living here. There is potential risk to our properties, health, and safety.

We cherish our forever home. We got married in our backyard, and our son, Kadir, just celebrated his first birthday here. We ask the ZBA to request that Nellie and Mark respect the unique characteristics of our neighborhood and provide details and complete information that show it will not be a detriment to our homes, families, and well-being.

Ibrahim & Show Isik
218 Pleasant Street
Arlington, MA 02476
Kaiboisik@gmail.com

ATTACHMENT A

Drawing C1.1 Proposed Site Plan submitted by Applicant (magnified)



ATTACHMENT B

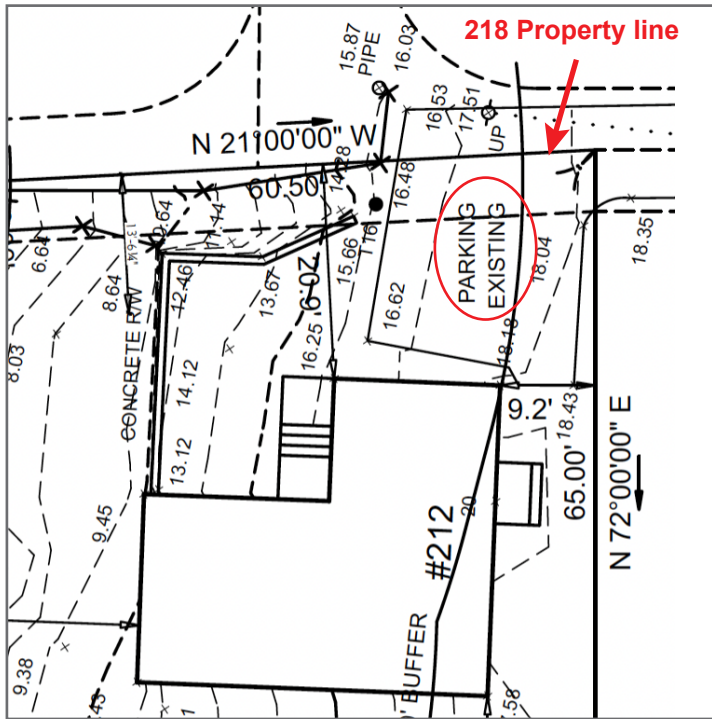
Supporting Calculations and Documents submitted by Applicant (excerpt)

REVISED 7-27-2023

Calculation of Open Space, Usable and Landscaped			
	Existing Sq Ft	Proposed Incl on Existing Footprint	% of total lot
Gross Floor Area	1,648	3,293	
Total Lot Square Footage			6,800
Not Useable			
House Footprint	822.00	1,176.00	
Parking Area *	480.00	638.00	
Steps to side door **	36.00	49.00	
Steps to front door	12	24	
Shed	80	80	
Total Not Uusable	1,430	1,967	28.93%
Open Space (back yard)			
Area not included in usable open space	2,652	2,652	
Usable Per Rober Survey	1,159	1,159	17.04%
As % of GFA	70.33%	35.20%	
Open Space, Landscaped			
Rear Deck	0.00	146.00	
Front Walkway	50.00	36.00	
Walkway to side steps	0.00	11.50	
Semi-porous patio	0.00	225.00	
Steps to Pond	360.00	360.00	
Side and Front yard, Landscape strips	1148.75	243.25	
Total Open Space, Landscaped	1,559	1,022	15.03%
As % of GFA	94.58%	31.03%	

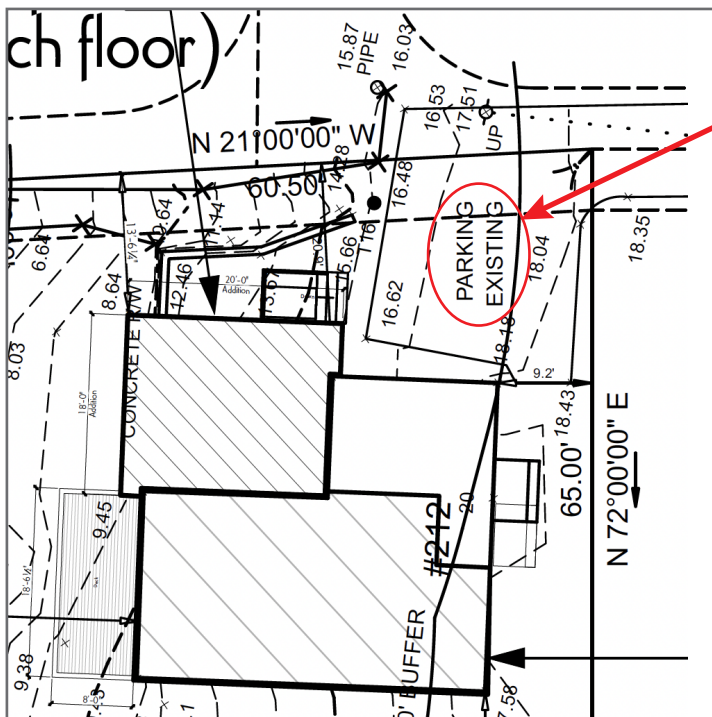
ATTACHMENT B (cont.)

Drawing C1.0 Existing Site Plan submitted by Applicant (magnified)



It is not clear where is existing parking

Drawing C1.1 Proposed Site Plan submitted by Applicant (magnified)



What is proposed parking?

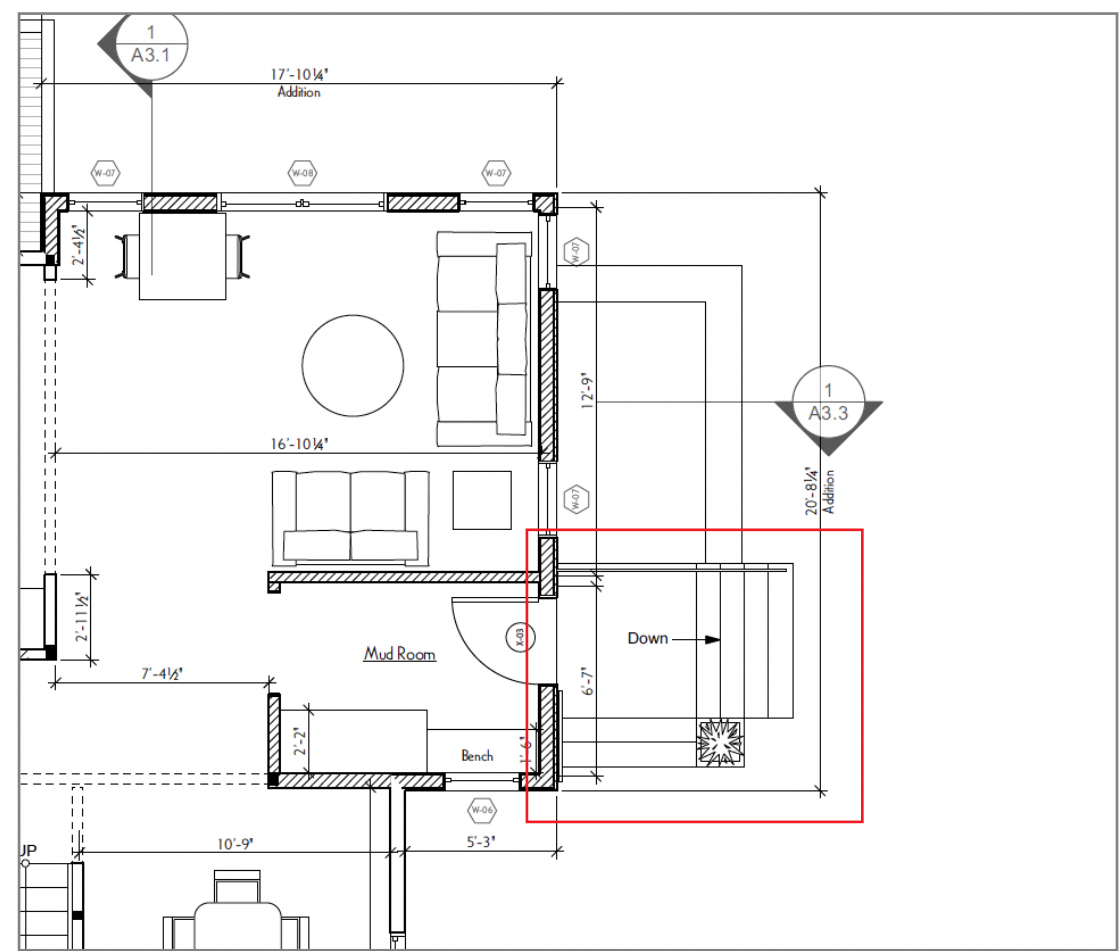
ATTACHMENT C

Dimensional Regulations in All or Multiple Districts (excerpt from Zoning Bylaw)

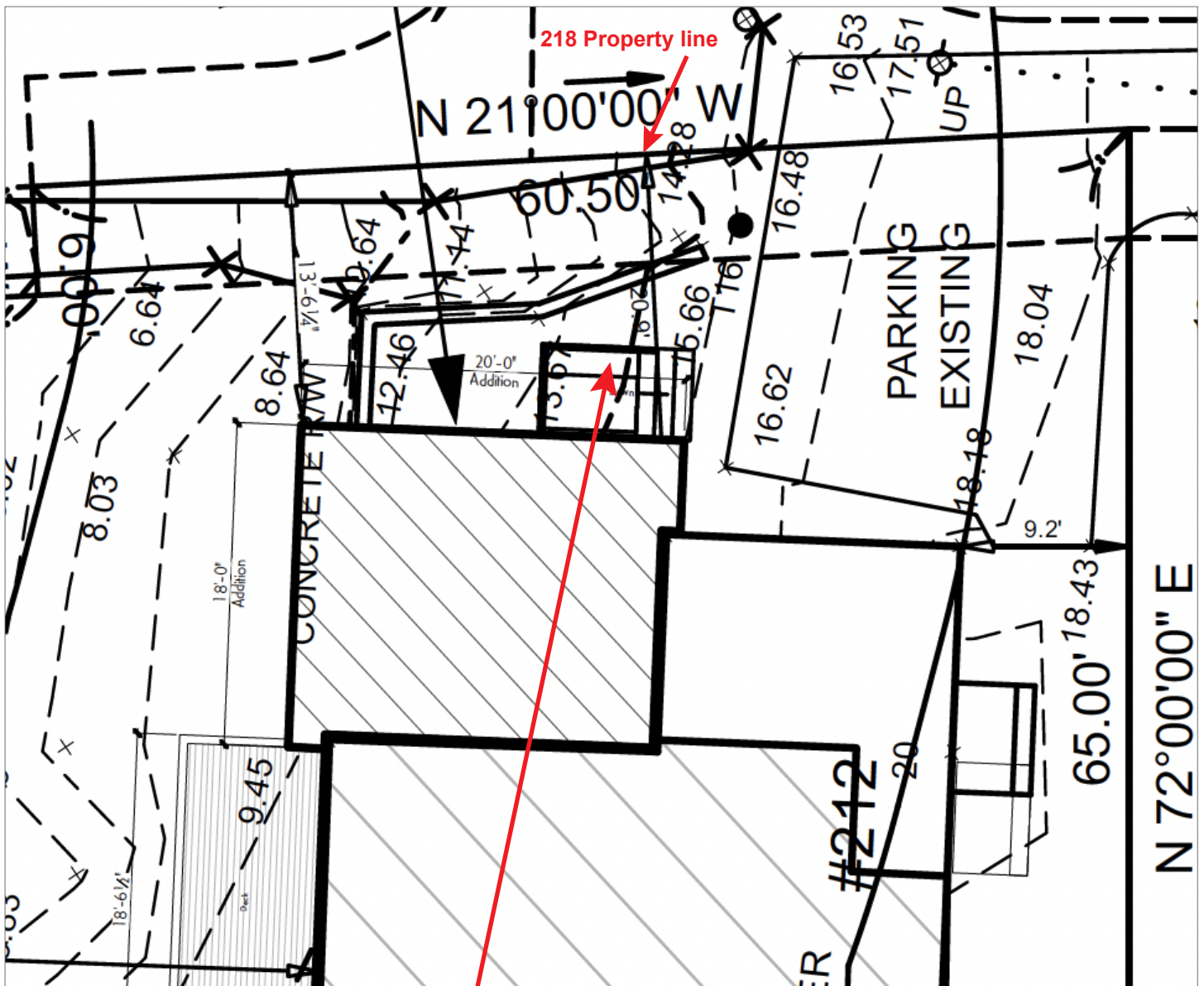
5.3.9. Projections into Minimum Yards

- A. Projecting eaves, chimneys, bay windows, balconies, open fire escapes, porches, and enclosed entrances not more than 25 square feet in floor area or more than one story high which do not project more than three and one-half feet beyond the line of the foundation wall may extend beyond the minimum yard regulations otherwise provided for the district in which the structure is built. Porches and enclosed entrances larger than that allowed above may extend into the minimum yard regulations otherwise provided for the district by special permit.
- B. Unenclosed steps, decks, and the like, which do not project more than 10 feet in the front yard, or more than five feet in the side yard beyond the line of the foundation wall may extend beyond the minimum yard regulations otherwise provided for the district in which the structure is built. Unenclosed steps, decks, and the like which do not project more than 10 feet into the required rear yard and are not closer to the lot line than half the size of the required yard, may extend beyond the minimum yard regulations otherwise provided for the district in which the structure is built
- C. Second story additions within the required front yard setback may extend no more than one foot beyond the existing building wall.
- D. Porches, decks, steps, and landings in the required setback are not considered to be within the foundation wall and may not be enclosed, extended, or built upon except by special permit.

Drawing A1.1 Proposed 1st Floor Plan submitted by Applicant



Drawing C1.1 Proposed Site Plan submitted by Applicant (magnified)



Is this drawing of side porch? Does it include steps going out towards 218's property line?

What is distance from porch and proposed steps to 218 property line?

August 28, 2023

Dear Arlington Zoning Board of Appeals,

We and our neighbors (210, 214, 216, and 218 Pleasant Street) remain unified in our firm opposition to the proposed plans for 212 Pleasant Street. As the closest neighbors, we believe the proposal will be detrimental to each of our families' health, safety, and welfare. Moreover, the proposed structure is inharmonious and out-of-scale with the existing character and rhythm of our neighborhood, which is uniquely situated right on Spy Pond.

We have a number of substantial concerns related to the application.¹

Lack of Plans and Information Representing Entirety of Project

To start, the plans submitted are incomplete, inconsistent, and lack the level of detail necessary to understand and determine the full impact of the project on us and the neighborhood. We respectfully request that clear information and drawings be provided by the applicant on the following:

- Plans to construct two (2) new retaining walls in the side and rear yard
- Plans to regrade and level land in the rear yard
- Plans to increase the parking area

These plans will alter the topography and drainage at the site and impact water flow and erosion on abutting properties. Yet, we cannot find them in any of the drawings or plot plans that were submitted as part of the application. Without this information, we are unable to assess the risk of damage to abutters' foundations, structures, and land.

Moreover, this information is absolutely central to determining whether the proposed full height walk-out basement meets the definition of a story. The basement is a story if the difference between the finished ceiling height and the average finished grade is equal to or greater than 4 feet 6 inches.² In other words, this determination hinges on establishing the average finished grade of the proposed building.

Therefore, we would like to see the proposed site plan *with the grade changes* that will be made. In the submitted documentation, the contour lines and elevation figures do not change from the existing site plan to the proposed site plan.³ Yet, the topographic map will change after

¹ These concerns were raised earlier as a result of the ZBA hearing held on February 28, 2023, when the applicant first presented her request for a special permit to make a large addition at 212 Pleasant Street (Docket #3733). A continuance of the hearing was granted until March 28, 2023; however, the applicant withdrew her application prior to the ZBA resuming review and discussion of her proposal (Docket #3733 continuance). The applicant requests to re-apply for a special permit (Docket #3764) and states in her letter dated July 27, 2023 that "our architectural and engineering plans have not changed at all." Therefore, our questions and requests for critical information about the applicant's plans remain outstanding.

² Refer to Section 2 Definitions on pages 2-20 and 2-22 of the Arlington Zoning Bylaw.

³ Refer to Existing Site Plan C1.0 and Proposed Site Plan C1.1 submitted by applicant (Docket #3764).

building two new retaining walls and leveling the yard at the rear of the house. Without plans reflecting the proposed grade changes to the land, we can only assume that the elevation points from the existing (and not proposed) topography were used to calculate the average finished grade of the proposed building. In turn, we lack accurate information to determine whether the proposed basement is a story or not.

We are frankly alarmed by the lack of transparency in the exact changes being proposed.⁴ It seems reasonable to expect the applicant's drawings, plans, and supporting documentation to reflect the full nature of the changes to the property. The applicant has not responded to our requests for information since her initial application for a special permit but rather has submitted a new application with the same exact plans and documentation.

Calculation of Large Addition Allowed By Right

In Section 2 in the Arlington Zoning Bylaw, the definition of Gross Floor Area (GFA) is:⁵

Gross Floor Area: The sum of the horizontal areas of **all stories of a building** or buildings on a lot, measured from the exterior faces of exterior walls, or in the case of a common wall separating two buildings, from the centerline of such common wall as regulated under Section 5.3.22.

Based on the definition, a basement is only included in the GFA if it meets the definition of a story. In fact, that is what is explicitly stated on the ZBA's application form. Line 2 under Gross Floor Area notes: "Basement or cellar (meeting definition of Story, excluding mechanical areas)".

Below is the Gross Floor Area information that was submitted on the application form:⁶

⁴ The applicant's plans to construct a new retaining wall and level the yard from the rear of the proposed house to the retaining wall are not clearly described or apparent in her application or plans. These major aspects of the project were only revealed to us in the applicant's calculations of open usable space that were submitted to the ZBA on March 6, 2023 (Docket #3733 continuance). The applicant's letter to the ZBA states: "The land between Spy Pond and the proposed future retaining wall located at the 50' setback has a grade of 8.08%. The area above the retaining wall will be level, with a 0% grade."

⁵ Refer to Section 2 Definitions on page 2-8 of the Arlington Zoning Bylaw.

⁶ Refer to 212 Pleasant Street Special Permit Application submitted by applicant (Docket #3764).

GROSS FLOOR AREA (GFA) †

Accessory Building	N/A	N/A
Basement or Cellar (meeting the definition of Story, excluding mechanical use areas)	824	1118
1 st Floor	824 sq ft	1176 sq ft
2 nd Floor	N/A	999
3 rd Floor	N/A	N/A
4 th Floor	N/A	N/A
5 th Floor	N/A	N/A
Attic (greater than 7'-0" in height, excluding elevator machinery; or mechanical equipment)	0	0
Parking garages (except as used for accessory parking or off-street loading purposes)	0	0
All weather habitable porches and balconies	0	0
Total Gross Floor Area (GFA)	1,648 sq ft	3,293 sq ft

NOTE: GFA of the proposed addition is 936 sq ft, which is 57% of the existing GFA.

† Refer to Definition of Gross Floor Area in Section 2 and Section 5 of the Zoning Bylaw.

As shown, the applicant includes the existing and proposed basement floor area (824 and 1,118, respectively) as part of the total GFA. By doing so, both the existing and proposed basement must meet the definition of a story. Therefore, we reason that the existing structure is a 2-story house, and the applicant is turning it into a 3-story house, which exceeds the maximum allowed (2.5 stories) in the Bylaw.⁷

Alternatively, if either the existing or proposed basement do not meet the definition of a story then the square footage for either basement should not be included in the total GFA.

We do not take the applicant's revised GFA figures lightly. These figures establish the threshold for what is allowed by right thereby giving us a full understanding of the magnitude of the changes being proposed. We request the ZBA's direction on how to calculate the total GFA to determine the increase in the additional square footage outside of the existing footprint that is allowed for large additions in the Bylaw.^{8 9}

⁷ Refer to Section 5.4.2(A) Table of Dimensional and Density Regulations on page 5-17 of the Arlington Zoning Bylaw.

⁸ Refer to Section 5.4.2B(6) Large Additions on pages 5-18 and 5-19 of the Arlington Zoning Bylaw.

⁹ As part of this request, we urge the ZBA to have the applicant provide worksheets and drawings showing the dimensions of the GFA for both the existing footprint and the addition outside the existing footprint for every level of the house (the sum of which equals the total GFA for that level). Currently, the special permit application (Docket #3764) states the proposed addition has a footprint of 312 square feet on each of the three levels. Yet, subtracting the proposed from existing GFA figures provided in the table does not match this statement. For example, if you look at the proposed and existing GFA of the 1st floor, the difference is 352 square feet (1,176 sf - 824 sf = 352 sf).

Parking and Safety Concerns

The proposed use for parking for two cars will be a significant detriment to the safety, health, and well being of all of the abutting residents at 214, 216, and 218 Pleasant Street. Historically, there has only been one car parked at 212 Pleasant Street. In all practicalities, only one car can park in the existing space. If two normal-sized cars are parked, there is not enough room for one car to turn around in the existing space and make a forward facing exit. Rather, a driver must reverse down the shared driveway and then use either 214's or 218's driveway to turn around. Therefore, parking two cars instead of one changes traffic patterns considerably and poses a significant safety hazard to both families at 214 and 218 Pleasant Street, and especially our young children who play and ride outside.

The applicant proposes to enlarge the parking area by 33 percent (from 480 square feet to 638 square feet); however, this alteration is only depicted in the applicant's calculations of open space but not on her site plans.¹⁰ As stated upfront, we request plans that clearly and accurately show the existing and proposed parking area and reflect the measures taken to increase the area. We would like these plans to delineate the area and its dimensions that fits two cars and allows for both cars to turn around within the space and exit forward facing. Further, we invite the ZBA to make a site visit to understand how parking for two cars is not the existing use.

Inland Wetland District

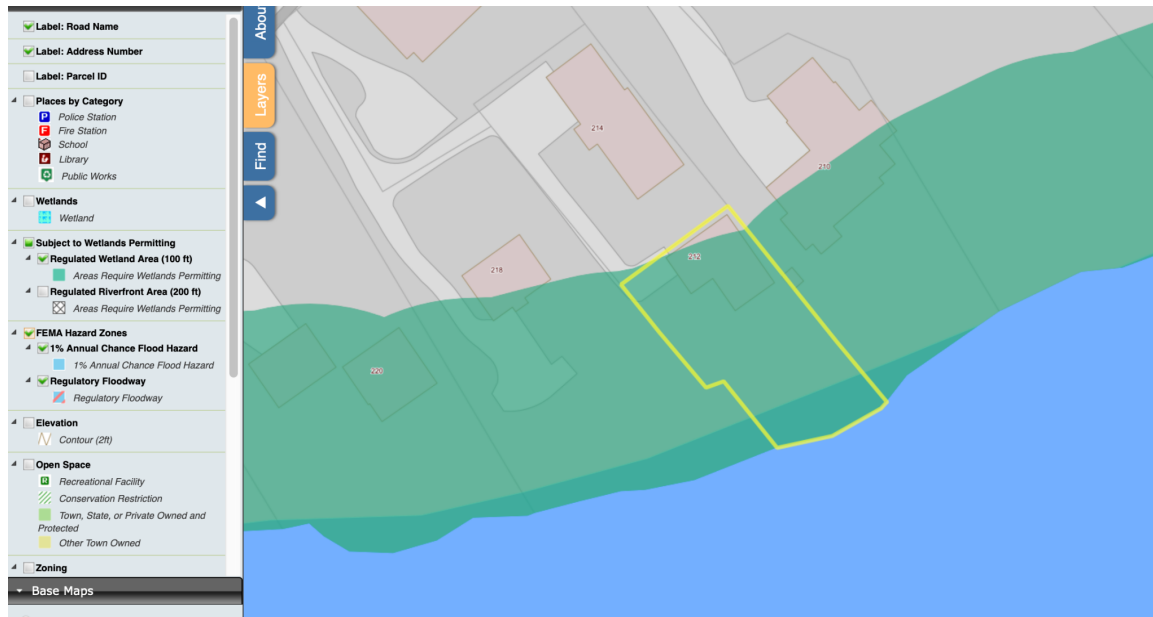
In addition to being part of the R1 Single Family District, the property of 212 Pleasant Street is also almost entirely within the Inland Wetland Overlay District.¹¹ As such, are any of the proposed changes at 212 Pleasant Street subject to the regulations for the Inland Wetland District? See the Wetland and Floodplain Overlay Map¹² and permitted uses in the Inland Wetland District as stated in the Bylaw¹³ below:

¹⁰ Refer to Supporting Calculations and Documents and Proposed Site Plan C1.1 submitted by applicant (Docket #3764). On Proposed Site Plan C1.1, the only reference to parking is "parking existing."

¹¹ Refer to Section 5.8.2 Inland Wetland District Definition on page 5-51. The Bylaw defines the Inland Wetland District to include: "all lands within the elevations shown on the Wetland and Floodplain Overlay Map of the Zoning Map and designated as wetlands as defined by the Massachusetts Wetlands Protection Act, G.L. c.131 §40, and the implementing regulations, 310 CMR 10.00, as well as the Town of Arlington Bylaw for Wetlands Protection (Title V, Article 8), and the Wetland Protection Regulations (Regulations) promulgated thereunder. These include lakes, ponds and swamps."

¹² The image outlines 212 Pleasant Street (in yellow) on Arlington's Wetland and Floodplain Regulation Map. The area in green is within 100 feet of a wetland, lake, or pond and subject to wetlands permitting.

¹³ Refer to Section 5.8.4 Inland Wetland District Permitted Uses on page 5-52 of the Arlington Zoning Bylaw.



5.8.4. Permitted Uses

Municipal use, such as waterworks, pumping stations, and parks, is permitted under this section. Land in the Inland Wetland District may be used for any purpose otherwise permitted in the underlying district except that:

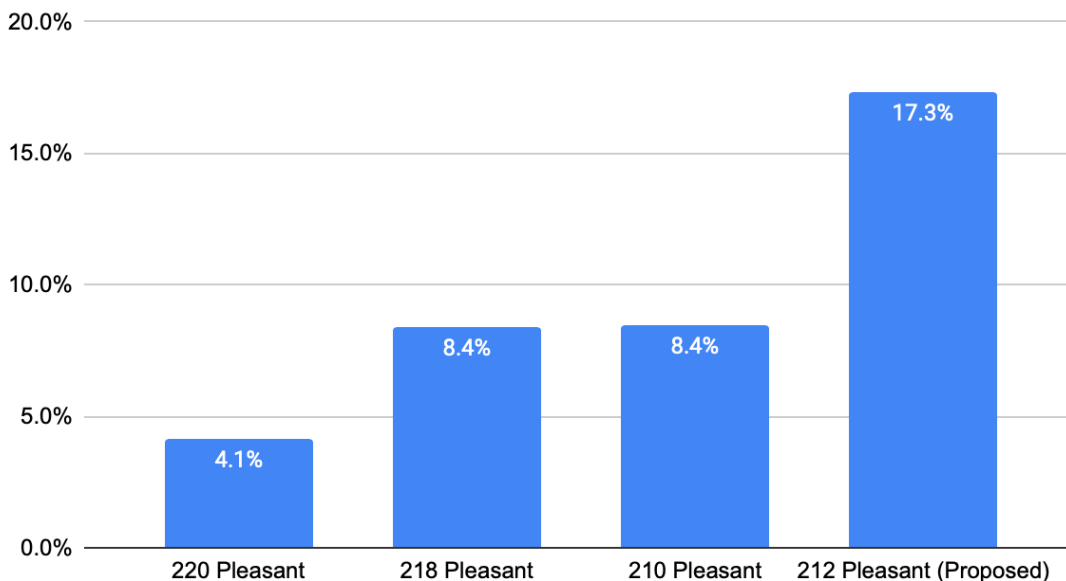
- A. No structure intended for human occupancy or use on a permanent basis having water and sewerage facilities and no other building, wall, dam or structure (except flagpoles, signs, and the like) intended for permanent use shall be erected, constructed, altered, enlarged, or otherwise created or moved for any purpose unless a Special Permit from the Board of Appeals or, in cases subject to Environmental Design Review, a Special Permit from the Arlington Redevelopment Board, is issued. However, a structure existing at the time this Bylaw becomes effective may be reconstructed or repaired after a fire or other casualty, as provided in Section 8.1.8 of this Bylaw.
- B. Dumping, filling, excavating, or transferring of any earth material within the district is prohibited unless a Special Permit from the Board of Appeals or, in cases subject to Environmental Design Review, a Special Permit from the Arlington Redevelopment Board, is issued. However, this paragraph does not prohibit ordinary gardening activities in lawn or garden areas which are used for such purposes at the time this Bylaw became effective.
- C. No ponds or pools shall be created or other changes in watercourses, for swimming, fishing, or other recreational uses, agricultural uses, scenic features, or drainage improvements or any other uses unless a Special Permit from the Board of Appeals or, in cases subject to Environmental Design Review, a Special Permit from the Arlington Redevelopment Board, is issued.

Scale of Proposed House

The proposed house is not in keeping with the scale and massing of the neighboring houses and is inharmonious with the surrounding neighborhood. The current one-bedroom Cape-style cottage reflects the land's unique history and setting. The applicant proposes to replace it with a substantial 4-bedroom house, expanding the footprint and adding a 999-square-foot second level and full height walk-out basement. The plans are of an inappropriate scale relative to its lot size and given its very close proximity to Spy Pond and neighboring homes.

When we consider waterfront properties, the proposed building at 212 Pleasant Street has the highest lot coverage among four neighboring properties on Spy Pond (210, 212, 218, and 220 Pleasant Street).¹⁴ Its footprint relative to its lot size (or lot coverage) is more than twice the coverage compared to the abutting waterfront properties (210 and 218 Pleasant).

Ranked by Lot Coverage (Footprint/Lot Size)



Detriment to Neighborhood and Residing Families

Our property line is only 9 feet 2 inches from the front wall of 212 Pleasant Street. Even the distance between our home and the front wall of 212 Pleasant Street (23 feet) does not meet the minimum setback regulations. If we include the deck, we are only 15 feet away. Therefore, small or large alterations to the cottage, including those described as “by right,” affect us significantly.

¹⁴ Lot coverage = (total area of the building footprint on a lot / total area of the lot) x 100. Building footprints and lot sizes of 210, 218, and 220 were calculated using the Arlington Assessor's Office Property Data. Refer to Garber & How Letter to the ZBA dated March 27, 2023 for calculations (Docket #3733 continuance).

The large addition as proposed at 212 Pleasant Street will effectively block light, air, and views of Spy Pond and the natural environment from most of our home. Further, we will experience more noise and less privacy. We are at risk of losing the very reasons we purchased our home and why we want to raise our children here. We treasure our family time spent huddled together in our bedroom simply peering outside in silence and awe. Our young children marvel at the natural beauty and wildlife that exists right outside our home, finding great joy in spotting ducks, swans, and eagles from our windows, in watching the kayakers, paddle boarders, ice skaters, and fisherman, and in being able to play, garden, and explore outdoors in a bright open space. The proposal will absolutely be detrimental to our health, well-being, and quality of life in our home and neighborhood.

We remain firmly opposed to the proposal at 212 Pleasant Street for which a special permit is being requested. This position is shared by all abutting neighbors, as was the case in the applicant's initial submission last winter. Moreover, we do not believe there are adequate plans or information that represent the entirety of the alterations and additions being proposed. We strongly urge the ZBA to deny this application.

Thank you for your time and consideration.

Sincerely,

John Garber III and Sabrina How
214 Pleasant Street
Arlington, MA 02476

August 28, 2023

Dear Arlington Zoning Board of Appeals Members,

We are writing again as concerned neighbors regarding the Special Permit Request for 212 Pleasant Street (“Request”), which is located next to our home (210 Pleasant Street), both of which are on Spy Pond. We urge the ZBA to reject the Request on the grounds that its proposed benefits are outweighed by the significant detriments that would be caused if the Request is granted. While the DPCD has stated that the Bylaw 3.3.3 criteria are met, its interpretation and application of criteria B, C, F and G appear to be inconsistent with Bylaw 1.2 (Purposes)¹ Moreover, DPCD provides “related dockets” that appear to be quite dissimilar in light of 212’s pond-facing location, the community’s unique history/character, and our neighbors’ unanimous opposition to this project. Moreover, the proposed plans are inconsistent with the Arlington Residential Design Guidelines and are indicative of the type of problematic build that led our town to adopt those Guidelines.¹

Initially, it is important to point out that the benefits that Applicant has identified (solar energy, pervious parking spots, and energy efficient construction), could all be achieved more appropriately with a smaller home that would not require a Special Permit. Further, while the DPCD has noted that the project would provide additional living space as the one indication of “*public convenience and welfare*,” it neglects to mention that increasing the number of residents and cars in this particular area of Pleasant Street will negatively impact Criteria B, C, F and G. The DPCD also fails to recognize that while the current cottage has been the home of school teachers, the new 4 bedroom home would more likely meet the residential needs of a higher-income family. Thus, it undermines the Bylaws’/Town development plans’ goals of encouraging housing for persons at all income levels and the Design Guidelines Summary of Findings that new homes “*were too large and thus priced significantly higher, reducing the stock of relatively affordable homes*”. (p.91).

The DPCD has not taken into account the many detriments to health, safety, and welfare to abutters and other Arlingtonians if this Special Permit were granted. Applicants’ modification of their request since withdrawing it last spring has unfortunately not addressed these concerns.

- **Scale:** the proposed size would be disproportionately large, given where the home is placed on the lot, the fact that the lot is non-conforming, and the proximity (and size) of the abutting homes. This disproportionate size would negatively impact not just the abutters but also others who use Spy Pond or walk along the Route 2/Spy Pond path, as the homes are all currently quite visible from the Pond.
- **Light/Air/Views/Privacy:** the proposed much bigger home would block light, air and views for 210, 214, 216 and 218. The raised roof will block light into the only window of 210 that faces in the direction of 212 and, depending on the placement of the new

¹ “as local residential real estate values increased, older, smaller homes have been replaced by larger houses that are out of scale with the character of the existing neighborhoods.” (p.5 of Design Guidelines); Principle B-3: discourage “over-sized additions.” (p.33)

windows of 212, may require us to cover that window entirely, as it is a dressing room/bathroom.

- **Noise:** the much bigger home, with 2 new decks and a balcony, new landscaped stairway next to the property line with 210, and an additional parking space can be expected to result in more outdoor (and indoor) noise for the abutting neighbors and negatively impact our quality of life.

Additional potential detriments, requiring further study:

- **Foundation/Structural:** the abutters have as yet received extremely limited information about Applicant's plans to regrade the property, build new retaining walls, and potentially replace the home's foundation. At a minimum, these activities, involving multiple round trips by heavy equipment, will place a substantial burden on the existing driveway. Applicant's assurance that she will "*share in the cost*" of repairing the driveway, which she acknowledges has some existing fragility, seems misplaced as damage due to construction would of course be her legal responsibility to repair. In addition to the driveway damage, it is uncertain what the impact of this significant work would be on the foundation, structure and landscaping of abutting properties, as well as the water lines under the shared driveway. The ground floor of 210, next door to 212 and in very close proximity, is partly underground and is parallel to the "basement" (also partly underground) of the proposed plans for 208 and therefore we have significant concerns about the potential impact on the 210 foundations.
- **Water run-off/erosion:** Applicants have also not provided details on how the re-grading, new retaining walls, larger home, landscaped stairs, and new parking space may impact water run-off from 212 onto the abutting properties. If water run-off would change and be re-directed to 210 or 218, such water damage could also impact the foundation, structure and landscaping on those properties, as well as 216's use of their pond access easement. The proposed plan recently submitted shows elevations that are the same as the current plan, which is inconsistent with Applicants' statements elsewhere that they are re-grading the property. Applicants have submitted no plans showing how water run off will be controlled: plans do not show gutters, side property swales or catch basins. As the property is entirely within the Inland Wetland District (unlike adjoining properties where only the backyard area is in that district), it seems particularly important that the impact on water runoff be documented. Further, updated elevation information is critical to assessing open usable space. If re-grading is done, it will impact the average finished grade of the proposed build.

Thank you for taking the time to make the site visit on 3/24/23, enabling you to observe the close proximity of 210, 212, 214, 216 and 218, the impact of the proposed build on the views from abutting properties and the unique driveway situation. The one perspective that you were unable to see during the visit is the view from Spy Pond, which is one that many Arlington residents (and others) enjoy, especially in the summer but also in the winter when the Pond usually freezes over and becomes a large, frozen town square where many people walk, skate, fish, and play hockey. For those many people who use the Pond, or who walk along the Spy Pond pathway,

the homes along the water-front are as visible as the homes on Pleasant or Jason Streets. If the Request is approved, 214 and portions of the historic 216 property would be blocked and the overall appearance of the area would be significantly altered.

To provide that perspective, I took some photos while kayaking in March, prior to the last scheduled hearing on this topic.

https://www.icloud.com/photos/#0de9Ef4qFsl_EWu9fbbyiy2w_g.

As you can see, nearly all of the homes on the “Pleasant Street side” of Spy Pond are set farther apart than 210, 212, 214 and 218, making this a distinctive area of the Pond, due to its unique history as outlined in the letter submitted by the owners of 218. Along the shores of Spy Pond, homes are of different sizes and belong to several styles, but there is a proportionality between those homes. The roof lines are typically “layered” with the ones closest to the Pond being lower than or interspersed with the homes behind them, so that more homes are visible and more homes have a view of the water. It creates a harmonious aspect when viewed from the water, and something that adds to Arlington’s unique character. It also no doubt contributes to harmony within those neighborhoods, when waterfront properties do not add floors that block the views, sunlight and air for their neighbors.

Thank you for the time and consideration that you have dedicated to this issue. We view this as a very special neighborhood and are deeply concerned that this proposed build would be detrimental in the many ways that we and our neighbors have outlined. We urge you to find that the Special Permit criteria have not been met. If you are uncertain whether those criteria have been met, we would urge, in the alternative, that you continue this matter and request Applicant to furnish her most current and updated plans, with information regarding re-grading, retention walls, enlarged parking area (and how vehicles can turn without entering adjoining properties), landscaped staircase to backyard and any other hardscaping, window locations, elevations, water run-off, and the projected impact of her plans on the neighboring properties’ foundations, structures and landscaping.

Sincerely,

Tamara Joseph and Hafid El Boukfaoui

Section 3.3.3 (Decision Criteria):

- B. The requested use is essential or desirable to the public convenience or welfare.
- C. The requested use will not create undue traffic congestion or unduly impair pedestrian safety.
- F. The requested use will not impair the integrity or character of the district or adjoining districts, nor be detrimental to the health or welfare.
- G. The requested use will not, by its addition to a neighborhood, cause an excess of the use that could be detrimental to the character of said neighborhood.

Section 1.2 (Purposes): The purpose of this Bylaw is to **promote health, safety, convenience, morals and welfare** of the inhabitants of the Town of Arlington; **to lesson congestion in the streets; to conserve health;** to secure safety from fire, panic and other dangers; **to provide adequate light and air; to prevent the overcrowding of land; to avoid undue concentration of population; to encourage housing for persons at all income levels; . . . to protect**

and preserve open space as a natural resource; for the conservation of natural conditions for and fauna and to serve as urban amenity for scenic and aesthetic enjoyment and recreational use; to conserve the value of land and buildings; to encourage the most appropriate use of land throughout the Town; . . . **It is made with reasonable consideration to the character of the district and to its peculiar suitability for particular uses, with a view to giving direction or effect to land development policies and proposals of the Redevelopment Board, including the making of Arlington a more viable and more pleasing place to live, work and play. [Emphasis added to highlight most relevant portions]**

Dear Members of the Arlington Zoning Board of Appeals,

We live in the Call-Bartlett House at 216 Pleasant Street in Arlington and would like to express our point of view that the development of 212 Pleasant will be detrimental to the welfare of the immediate neighborhood. The plan as it stands will adversely affect the enjoyment, view, and access to Spy Pond for us and our neighbors. Our home will be turning 170 years old next year and we are only the sixth owners since it was built by Henry Call in 1854. At that time, the properties of 214, 216 and 212 were all part of the estate, with 218 as the horse stables. The properties remained connected by deed and/or family for the next 100 years until the early 1950s when our little cul-de-sac emerged as it is today.

Much like 170 years ago, the residents of this unique little area have a bond more closely resembling family than neighbors. We suggest that the neighbors who know the area intimately should have a more substantial say than developers in evaluating how this expansion will impact the integrity, character, health, morals, and welfare of the area. Upon a closer examination of this special permit application, we believe the ZBA will find the adverse effects to the character, history, and integrity of the neighborhood far exceed and outweigh any benefit brought by building the proposed home. This development is neither essential nor desirable to public convenience or welfare. Turning this cottage into a modern 4-bedroom home will not only destroy the historical connection to surrounding homes, but also result in increased traffic and negative impact to pedestrian safety as there are 3 blind turns between Pleasant Street and the cottage, on which children regularly play.

In keeping with history, reason and conscience, and consistent with Section 3.3 of the Zoning Bylaw, we strongly hope and expect the ZBA to deny this application.

Parking Plan and Easement

While in the application, it's stated that there are currently *two parking spaces* in the lot, historically, in the past decades, there has only been *one car* parked in the lot. This is based on our firsthand experience, communication with previous owner, and from our neighbors who have lived here for 16 years. The proposed addition of living space will lead to increased number of residents at 212 Pleasant Street. We would request the petitioner modify the plan to clearly delineate the parking area for the new proposed home by showing how that parking area would fit the proposed two cars. We have serious concerns that the expansion of this home will result in future impediment to our deeded easement to access Spy Pond and want to avoid future conflicts amongst the neighbors. We would like the public record to reflect a parking plan, confirming easement won't be blocked in the final submitted plan.

Character of the Neighborhood

Additionally, we have concerns surrounding how such a large addition would impact the character of our neighborhood, the use and enjoyment of our home, the surrounding neighborhood and our quality of life *long-term*. We have been in our home for almost 8 years, and Chia-Yun Jess owned a condo down on Pleasant Street before we got married. We love this neighborhood and appreciate how unique and wonderful it's situated – its proximity to Route 2 and Alewife, and more importantly, our access to Spy Pond. We spent many wonderful summer hours in our kayaks and canoe, and we love to skate on the pond when it freezes over. We often take our friends on canoe rides and made many wonderful

Matt Dawson and Chia Yun Sun
216 Pleasant Street, Arlington, MA, 02476

Monday 8/28/23 – 9:00am

memories on Spy Pond – exploring Elizabeth Island and observing nature with our niece and nephews, watching Arlington Town day fireworks from the water, skating under the moonlit frozen lake, having neighborhood parties on the frozen pond, or chatting with the ice fishermen. These are unique characteristics only people who live here would understand and appreciate. This is one of the main reasons we live here in our home – we love the suburban nature of our neighborhood, and we treasure the histories of Spy Pond. The original owner of our home was mentioned in a documentary making a business by harvesting ice from Spy Pond. Preserving the characteristics and making renovations respectfully is extremely important to us, and the current proposed plan is entirely out of scope of our charming neighborhood.

Respectfully,

Matt Dawson and Chia Yun Sun



TOWN OF ARLINGTON
Inspectional Services Department
23 Maple Street
Arlington, Massachusetts 02476
Office (781) 316.3390
inspectionalservices@town.arlington.ma.us

MEMORANDUM

To: Zoning Board of Appeals
From: Mike Ciampa
Director of Inspectional Services
Date: August 28, 2023

Docket # 3762 – 212 Pleasant Street

Inspectional Services has calculated the average grade for 212 Pleasant Street upon request. The average grade was calculated twice by two different inspectors. The result was an average grade elevation of 12.71 with a basement ceiling elevation of 19. This office has determined that the basement ceiling is 6.29 feet above average grade and per the Town of Arlington Zoning Bylaw definition of story, constitutes a story.

Story: The portion of a building which is between one floor level and the next higher floor level or the roof. If a mezzanine floor area exceeds one-third of the area of the floor immediately below, it shall be deemed to be a story. A basement shall be deemed a story when its ceiling is 4 feet 6 inches or more above the finished grade. A cellar shall not be deemed a story. An attic shall not be deemed a story if unfinished and not used for human occupancy.

Michael Ciampa
Director of Inspectional Services

Dear Members of the Zoning Board of Appeals,

As one of the nearby abutters, I recently received a notification from the Zoning Board of Appeals regarding the re-opening of the hearing regarding a proposed large addition to 212 Pleasant Street.

I am writing to express my concern regarding this revised proposal.

I have lived at 215 Pleasant Street for more than thirty years. In the past few years, I have been very fortunate to be able to take a more active role in the Arlington community, serving as a Town Meeting Member for Precinct 10 as well as participating on various Town boards and committees. Unfortunately, I am unable to attend the 8/29 hearing as I have a conflicting meeting as a member of the MBTA Communities Working Group.

Please read this letter in to the public comment in lieu of my attendance at the 8/29 hearing.

My concerns continue to be the ones I expressed at your February 28th meeting. That is that the addition is extremely and overly large relative to the current size of the house, and given the proximity of the site to its immediately abutting neighbors, granting the applicant relief per their application will be an incredible short-term burden during construction, a significant long-term burden in the quality of the experience of living in their homes, and a sizeable expense in the potential reduced value of their properties.

From the applicant's July 27th cover letter, I understand that the applicant has made no substantive change to their original proposal. The re-opening of the hearing is based almost solely upon a new interpretation of the pertinent Town zoning bylaws. I defer, of course, to the expertise of the Zoning Board of Appeals to make a determination as to the accuracy of this re-interpretation.

If the ZBA does agree unfortunately with the applicant's interpretation of the bylaws, I encourage the ZBA to vote against approving the applicant's application, further negatively impacting the neighbors of 212 Pleasant St.

One of the purposes of our zoning bylaws is to protect neighbors from unreasonable and overly burdensome effects of changes made by property owners. The neighbors of 212 Pleasant St. are overwhelmingly opposed to the applicant's proposed changes. I urge the ZBA to respect these neighbors' concerns, and vote against the applicant's proposal.

Sincerely,
Rebecca Gruber
215 Pleasant Street

Re: Continuance 212 Pleasant

Nellie Aikenhead <nellie@aikenheadrealestate.com>

To:Christian Klein

Cc:ZBA;Michael Ciampa

Sun 10/22/2023 1:34 PM

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi Christian

In case it's helpful, here is an explanation of why the average finished grade has changed both from the 12.71 calculated by ISD in August and from the figures we had on our previous survey. We requested the surveyor recalculate only after discussing everything with ISD.

1. Rober Survey changed the elevation measurements to reflect the Town's standard methodology for a sloped lot (ie: the measurements are taken at points 6' away from the dwelling rather than at the corners of the building).
2. We clarified with Inspectional Services that the bump out at the back of the house is an open deck not finished living space. Our elevations are therefore taken 6' off the back of the house whereas in August when calculating the 12.71' finished grade, ISD measured 6' off the deck, which is 14' off the house. Because that is the steepest downslope on the entire property, it had a big effect on the grade calculation.
3. The survey also now shows the new higher elevations that will be created by the proposed retaining wall at the back of the house. The location, type, and size of the wall was included in our 2022 Notice of Intent application, which was approved by the Conservation Commission in June 2022; the Order of Conditions was recorded with the Commonwealth of MA on July 21, 2022.
4. The surveyor changed the calculation for the average finished grade from existing to proposed.

Nellie

On Fri, Oct 20, 2023 at 4:00 PM Nellie Aikenhead <nellie@aikenheadrealestate.com> wrote:
Hello Christian, please see my answers below in red. Thanks.

Nellie

On Fri, Oct 20, 2023 at 2:19 PM Christian Klein <cklein@town.arlington.ma.us> wrote:
Nellie,

Your hearing on 212 Pleasant Street was previously continued to the Board's October 24 hearing. I see that you have submitted a revised site plan with a three foot retaining wall between the house and the pond. I had a few questions:

1. Has this retaining wall been reviewed with ISD to confirm that it is of a sufficient height to make the lowest floor not a story? **Verbally, yes it has. I reviewed it in the office with Dave. I believe Mike was going to write a memo to that effect, but I haven't seen it yet.**

2. Has the retaining wall been reviewed with the Conservation Commission to confirm that it is acceptable? **Yes. The wall was part of the Notice of Intent (NOI) that we submitted to the Conservation Commission way back in May 2022. We had a public hearing in May 2022, which all of the neighbors attended, and we had a public follow up hearing in June 2022. The ConsComm unanimously approved our NOI without any changes at that June 2022 meeting. I can send you the Order of Conditions that was issued by the ConsCom and recorded at the Registry of Deeds along with the "Additional Conditions" document if you need them.**
3. Have there been other developments of which the Board should be aware? **I wouldn't say developments, but because we have went through a public process with the ConsCom and a public process with the HDC in 2022, and because the engineering department and the tree warden both weighed in and signed off, there are a lot of already publicly vetted and approved details associated with our project that the ZBA might not be familiar with. Many, such as specific details about the retaining wall and the new pourous parking area and catch basin, are in our May 2022 NOI, which Colleen uploaded the other day. I am fully prepared to provide additional information and answer questions as needed on Tuesday.**

I suppose one other thing to note: when calculating the square footage of the addition, I multiplied the foundation size (312 sq ft) by 3, for a total of 936 sq ft. However, the second and third floors have a 2' x 20' cantilever in the rear, so the total square footage should be 312+352+352 or 1,016 sq ft. The abutters pointed out this discrepancy (see page 3, footnote 9 of the "Garber-Howe" letter submitted prior to the August hearing) and I am planning to request that the ZBA approve 1,016 sq ft rather than 936 sq ft on Tuesday. Please let me know if there is anything you need from me on that topic or anything else before then. Thank you!

Nellie Aikenhead and Mark Halliday

Best,

Christian Klein
Chair, Arlington ZBA

From: Nellie Aikenhead <nellie@aikenheadrealestate.com>

Sent: Saturday, September 23, 2023 7:49 AM

To: Christian Klein <cklein@town.arlington.ma.us>

Cc: ZBA <ZBA@town.arlington.ma.us>

Subject: Re: Continuance 212 Pleasant

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Sounds good, thanks. I will plan to attend briefly on the 3rd.

Nellie

NELLIE AIKENHEAD, Broker/Owner

Aikenhead Real Estate Inc.

Arlington's #1 independent real estate company in 2021!

nellie@aikenheadRE.com

On Fri, Sep 22, 2023 at 6:27 PM Christian Klein <cklein@town.arlington.ma.us> wrote:
Nellie,

Thank you for your candor. We will vote to continue until Oct. 24 at the Oct. 3 hearing.

Christian Klein

Chair, Arlington ZBA

From: Nellie Aikenhead <nellie@aikenheadrealestate.com>

Sent: Friday, September 22, 2023 2:10 PM

To: Christian Klein <cklein@town.arlington.ma.us>

Cc: ZBA <ZBA@town.arlington.ma.us>

Subject: Re: Continuance 212 Pleasant

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi Christian,

I personally could be ready by the 28th, but I can't say for sure about the building dept or conservation. So I suppose it's best to postpone until October 24th. Thank you.

Nellie

NELLIE AIKENHEAD, Broker/Owner

Aikenhead Real Estate Inc.

Arlington's #1 independent real estate company in 2021!

nellie@aikenheadRE.com

On Fri, Sep 22, 2023 at 12:38 PM Christian Klein <cklein@town.arlington.ma.us> wrote:
Nellie,

We had to postpone the Sept. 26 hearings to Oct. 3. If you are confident you will have them by Sept. 28, we can still plan on proceeding on the 3rd. If you have any concerns, I would prefer to continue to Oct. 24 to give everyone enough time to prepare.

Christian Klein

Chair, Arlington ZBA

From: Nellie Aikenhead <nellie@aikenheadrealestate.com>

Sent: Thursday, September 21, 2023 2:11 PM

To: Christian Klein <cklein@town.arlington.ma.us>

Subject: Continuance 212 Pleasant

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Hi Christian,

I'm still waiting for resolution of the two key questions related to our Special Permit application. Since new materials were due to the ZBA today, should we move our hearing to a future date? We are currently on the 9/26 agenda. Thank you.

Nellie

NELLIE AIKENHEAD, Broker/Owner

nellie@aikenheadRE.com



**TOWN OF ARLINGTON
PLEASANT STREET
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS**

AT A MEETING OF THE COMMISSION DULY HELD ON

Date: June 23, 2022

IT WAS VOTED TO GRANT THIS CERTIFICATE OF APPROPRIATENESS (22-26P) TO

Name: Nellie Aikenhead and Mark Halliday

Address: 54 Brantwood Road, Arlington MA 02476

WITH RESPECT TO THE PROPERTY LOCATED IN SAID DISTRICT AT

Address: 212 Pleasant Street, Arlington, MA 02476

FOR THE FOLLOWING WORK ONLY, WHICH HAS BEEN DEEMED NOT TO HAVE AN INCONGRUOUS EFFECT ON THE HISTORIC ASPECTS OR ARCHITECTURAL CHARACTER OF THE BUILDING OR DISTRICT.

AS DESCRIBED IN APPLICATION AND ACCOMPANYING REVISED DOCUMENTATION PRESENTED AT FORMAL HEARING ON 6/23/2022, CONSTRUCTION OF AN ADDITION AND OTHER EXTERIOR CHANGES SUBJECT TO THE CONDITIONS THAT THE EXTERIOR ENVELOPE BE ALL WOOD AND THE FINAL MATERIAL SPECIFICATIONS MUST BE APPROVED BY THE MONITOR PRIOR TO ORDERING AND INSTALLATION.

NOTE: All work shall be carried out strictly as illustrated and specified in the application hereto and as may have been modified by the Commission. The term "match" if used herein means the exact replication in material, dimension, configuration, spacing, pattern, texture, finish and (where appropriate) color. Any additional work outside the scope of this certificate, or material deviation therefrom, may NOT be initiated without a new certificate or modification of this certificate by the Commission.

The Project Monitor for this certificate is **Charles Barry (617) 680-4399; charles@thoughtforms-corp.com**. Any further modifications of design or construction documents must be consistent with this certificate. Such documents shall be submitted to, and all work is subject to final acceptance by, the Project Monitor. Said Monitor may approve substitutions or modifications arising from unforeseen circumstances only to the extent they do not deviate from the intent of this certificate. Such approvals shall in no way relieve the applicant from other appropriate regulations or necessary permits and shall not be construed as professional advice in any form. The Commission reserves the right to report all significant deviations from this certificate to the Director of Home Improvement Contractor Registration.

This certificate is granted with the conditions that, unless noted, the work shall be completed within one year from the date of this certificate and that it shall be incorporated into any agreements between the applicant and his contractors. Although the Building Permit may be general in nature, it does not override the particularity of this Certificate which is to be considered incorporated into the Permit whether or not a copy of it is actually attached thereto.

By Order of the Commission:

6/28/22
Dated


Stephen Makowka, Chair

Applicant__ Building Insp.__ Orig./Exec. Sec.__ Monitor__ Town Clerk__ Chair__ File__



TOWN OF ARLINGTON
PLEASANT STREET
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

AT A MEETING OF THE COMMISSION DULY HELD ON

Date: January 26, 2023

IT WAS VOTED TO GRANT THIS CERTIFICATE OF APPROPRIATENESS (23-04P) TO

Name: Nellie Aikenhead and Mark Halliday

Address: 54 Brantwood Road, Arlington MA 02476

WITH RESPECT TO THE PROPERTY LOCATED IN SAID DISTRICT AT

Address: 212 Pleasant Street, Arlington, MA 02476

FOR THE FOLLOWING WORK ONLY, WHICH HAS BEEN DEEMED NOT TO HAVE AN INCONGRUOUS EFFECT ON THE HISTORIC ASPECTS OR ARCHITECTURAL CHARACTER OF THE BUILDING OR DISTRICT.

AS DESCRIBED IN APPLICATION AND ACCOMPANYING DOCUMENTATION PRESENTED AT FORMAL HEARING ON 1/26/2023, MODIFICATION OF PREVIOUSLY ISSUED CERTIFICATE FOR EXTERIOR CHANGES (CERTIFICATE 22-26P) TO ALLOW USE OF CLAD WINDOWS FOR THIS PARTICULAR SITE BASED ON THE UNIQUE CIRCUMSTANCES OF THIS INDIVIDUAL STRUCTURE INCLUDING THAT THE EXISTING STRUCTURE 1) IS NON-CONTRIBUTING, 2) HAS EXISTING VINYL WINDOWS, AND 3) WILL BE REPLACED WITH A MORE MODERN STRUCTURE. THIS APPROVAL IS SUBJECT TO THE CONDITIONS THAT 1) THE WINDOWS MEET ALL OF THE OTHER CRITERIA IN THE AHDC GUIDELINES FOR REPLACEMENT WINDOWS AND THAT THE FINAL WINDOW SPECIFICATIONS MUST BE APPROVED BY THE MONITOR PRIOR TO ORDERING AND INSTALLATION.

NOTE: All work shall be carried out strictly as illustrated and specified in the application hereto and as may have been modified by the Commission. The term "match" if used herein means the exact replication in material, dimension, configuration, spacing, pattern, texture, finish and (where appropriate) color. Any additional work outside the scope of this certificate, or material deviation therefrom, may NOT be initiated without a new certificate or modification of this certificate by the Commission.

The Project Monitor for this certificate is **Charles Barry (617) 680-4399; charles@thoughtforms-corp.com**. Any further modifications of design or construction documents must be consistent with this certificate. Such documents shall be submitted to, and all work is subject to final acceptance by, the Project Monitor. Said Monitor may approve substitutions or modifications arising from unforeseen circumstances only to the extent they do not deviate from the intent of this certificate. Such approvals shall in no way relieve the applicant from other appropriate regulations or necessary permits and shall not be construed as professional advice in any form. The Commission reserves the right to report all significant deviations from this certificate to the Director of Home Improvement Contractor Registration.

This certificate is granted with the conditions that, unless noted, the work shall be completed within one year from the date of this certificate and that it shall be incorporated into any agreements between the applicant and his contractors. Although the Building Permit may be general in nature, it does not override the particularity of this Certificate which is to be considered incorporated into the Permit whether or not a copy of it is actually attached thereto.

By Order of the Commission:

1/27/23
Dated


Stephen Makowka, Chair

Applicant__ Building Insp.__ Orig./Exec. Sec.__ Monitor__ Town Clerk__ Chair__ File__



TOWN OF ARLINGTON
PLEASANT STREET
HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS

AS AUTHORIZED BY THE COMMISSION, THE CERTIFICATE OF APPROPRIATENESS ORIGINALLY APPROVED FOR 212 PLEASANT STREET ON JUNE 23, 2022 (**CERTIFICATE 22-26P**) AND AMENDED AT THE SUBSEQUENT MEETING OF JANUARY 26, 2023 (**CERTIFICATE 23-04P**) IS HEREBY CONSOLIDATED AND REISSUED AS **CERTIFICATE 23-47P** FOR THE SOLE PURPOSE OF EXTENDING THE EXPIRATION DATE OF THE CONSOLIDATED CERTIFICATE TO JANUARY 27, 2024 (ONE CALENDAR YEAR FROM THE DATE OF CERTIFICATE) SUBJECT TO THE CONDITION THAT THERE ARE NO CHANGES TO THE SCOPE OF THE ORIGINAL APPROVALS INCLUDING THE CONDITIONS LISTED BELOW.

IT WAS VOTED TO GRANT THIS CERTIFICATE OF APPROPRIATENESS (**23-47P**) TO:

Name: **Nellie Aikenhead and Mark Halliday**
Address: **54 Brantwood Road, Arlington MA 02476**

WITH RESPECT TO THE PROPERTY LOCATED IN SAID DISTRICT AT:

Address: **212 Pleasant Street, Arlington, MA 02476**

FOR THE FOLLOWING WORK ONLY, WHICH HAS BEEN DEEMED NOT TO HAVE AN INCONGRUOUS EFFECT ON THE HISTORIC ASPECTS OR ARCHITECTURAL CHARACTER OF THE BUILDING OR DISTRICT.

AS DESCRIBED IN APPLICATION AND ACCOMPANYING DOCUMENTATION AND AS PRESENTED AT FORMAL HEARINGS ON 6/23/2022 AND 1/26/2023 WITH THE CONDITIONS SET FORTH IN THE ASSOCIATED CERTIFICATES INCLUDING THE PROVISION THAT THE EXTERIOR ENVELOPE BE ALL WOOD AND ALL OF THE FINAL DETAILS ARE SUBJECT TO APPROVAL BY MONITOR PRIOR TO INSTALLATION.

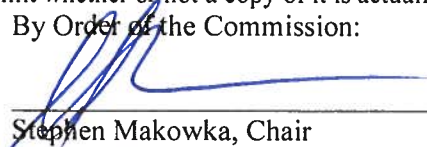
NOTE: All work shall be carried out strictly as illustrated and specified in the application hereto and as may have been modified by the Commission. The term "match" if used herein means the exact replication in material, dimension, configuration, spacing, pattern, texture, finish and (where appropriate) color. Any additional work outside the scope of this certificate, or material deviation therefrom, may NOT be initiated without a new certificate or modification of this certificate by the Commission.

The Project Monitor for this certificate is **Charles Barry (617) 680-4399; charles@thoughtforms-corp.com**. Any further modifications of design or construction documents must be consistent with this certificate. Such documents shall be submitted to, and all work is subject to final acceptance by, the Project Monitor. Said Monitor may approve substitutions or modifications arising from unforeseen circumstances only to the extent they do not deviate from the intent of this certificate. Such approvals shall in no way relieve the applicant from other appropriate regulations or necessary permits and shall not be construed as professional advice in any form. The Commission reserves the right to report all significant deviations from this certificate to the Director of Home Improvement Contractor Registration.

This certificate is granted with the conditions that, unless noted, the work shall be completed within one year from the date of this certificate and that it shall be incorporated into any agreements between the applicant and his contractors. Although the Building Permit may be general in nature, it does not override the particularity of this Certificate which is to be considered incorporated into the Permit whether or not a copy of it is actually attached thereto.

By Order of the Commission:

10/12/23
Dated _____


Stephen Makowka, Chair

Applicant__ Building Insp.__ Orig./Exec. Sec.__ Monitor__ Town Clerk__ Chair__ File__



Arlington Conservation Commission

Date: June 16, 2022

Time: 7:00 PM

Location: Conducted by Remote Participation

Attendance: Commission Members Susan Chapnick (Chair), Chuck Tirone (Vice Chair, joined at 7:20), Mike Gildesgame, Pam Heidell, Dave Kaplan, Nathaniel Stevens, and David White. Associate Commissioners Cathy Garnett, and Myra Schwartz. Conservation Agent David Morgan.

Absent: Associate Commissioner Doug Kilgour

Members of the Public: Nellie Aikenhead (212 Pleasant), Erica Schwarz, Neal Mongold, and Doug Tierney (Housing Corporation of Arlington)

Meeting Minutes

I. Administrative

1. Approval of June 2nd, 2022, Meeting Minutes

N. Stevens motioned approval of the June 2, 2022, meeting minutes. seconded. A roll call vote was taken: S. Chapnick – yes, M. Gildesgame – yes, P. Heidell – yes, D. Kaplan – yes, N. Stevens – yes, and D. White – yes, C. Garnett – yes, M. Schwartz – yes.

2. Discussion of Requested Reporting for Utility Projects

D. Morgan asked the Commission to consider standard conditions to request of certain exempt utility projects. Commissioners agreed to ask utilities for a project narrative, to provide the operations and maintenance manual (including the specific wetlands protection measures for each site), to provide the names and contacts for project managers, and to conduct a site visit with the Conservation Agent at the start of work. Gas utilities in specific will be asked for the blanket certificate provided by the Federal Energy Regulatory Commission.

3. Draft Arlington Wetland Bylaw Regulation Updates

N. Stevens presented sections of a draft of the revised Arlington wetlands regulations. Topics included which exemptions from the Wetlands Protections Act should be allowed under local regulations, fees, limited projects, site visit preparation, endangered species review, and riverfront area.

II. Updates



Arlington Conservation Commission

1. Park & Recreation Commission

C. Garnett said that she was not convinced that Park & Rec would be pursuing further wetland delineation at Poet's Corner. C. Tirone suggested that the Conservation Commission request an Abbreviated Notice of Resource Area Delineation for that project. D. Morgan agreed to pursue it. C. Garnett added that work on the mountain bike park at Hill's Hill is proceeding amidst resident push-back.

2. Water Bodies Working Group (WBWG)

Documents: 060922 WBWG Minutes

D. White elaborated on the minutes of the Water Bodies Working Group. D. White described SWCA's survey at Spy Pond. D. Morgan commented that during the survey, SWCA staff mentioned harvesting curly-leaf pondweed, in line with a WBWG recommendation. D. Morgan also mentioned that curly-leaf would not be treated in the pond this year and there would be funds to reallocate as a result.

D. White introduced a longitudinal water quality study of Spy Pond to be conducted by Tufts University student Gabriela Ackermann Logan under the advisership of Professor John Durant and requested \$2,500 to fund the study from the WBWG fund. D. White agreed to ask Gaby for access to the database so that the Commission can provide future updates. N. Stevens motioned to approve the expenditure of \$2,500 to pay for Gaby Logan's study. D. White seconded. A roll call vote was taken: S. Chapnick – yes, C. Tirone – yes, M. Gildesgame – yes, P. Heidell – yes, D. Kaplan – yes, N. Stevens – yes, and D. White – yes, C. Garnett – yes, M. Schwartz – yes.

D. White reported that the May 20th treatment at Hills Pond had made significant improvements to water quality there.

D. White asked the Commission whether a Notice of Intent (NOI) would be required for water chestnut harvesting at Arlington Reservoir. D. Morgan volunteered to write the NOI for Arlington and contact the Lexington Conservation Commission concerning a permit for work on that side of the Res.

3. Tree Committee

M. Gildesgame reported that the Tree Committee is seeking bids for a contract to manage emerald ash borer for the next several years. The committee is also seeking help with the tree watering and Adopt-A-Tree



Arlington Conservation Commission

programs. New trees were installed on Broadway and at the high school. Arlington was recognized with an award for its tree stewardship as part of the Tree City program. Arlington public schools are engaging students in maintaining tree plantings as an educational opportunity. D. Morgan mentioned his work with Arlington Continuing Education to provide programming about biodiversity. M. Gildesgame continued, saying Arlington Housing Authority has plans to plant trees at several properties. The Tree Committee also discussed the CPA-funded plan for the Foot of the Rocks and offered their concerns about the concepts.

III. Discussion

1. 36 Peabody Road Tree Removal
Documents: 36 Peabody Road Map and Photos

Discussion was postponed to the July 7, 2022, meeting.

2. Minor Plan Change: Wellington Park
Documents: Bike Rack Siting Diagram at Wellington Park, 35 Grove Street/Wellington Park Order of Conditions and Notice of Intent (DEP #091-0324)

D. Morgan asked whether the Conservation Commission would require a Minor Amendment to the Order of Conditions issued to the Town of Arlington Department of Planning and Community Development for installation of a bike rack at 35 Grove Street (Wellington Park) within the 200' Riverfront Area. C. Tirone noted that mitigation should be required for this and like projects. S. Chapnick felt that prior improvements to the park were sufficient for mitigation. D. Morgan raised the issue of whether past improvements can count toward subsequent work and suggested adding clarification to the regulations or other guidance about the commission's decision making in this regard. S. Chapnick motioned to allow D. Morgan to handle the matter administratively and request some form of mitigation for installation of the bike rack. D. White seconded. A roll call vote was taken: S. Chapnick – yes, C. Tirone – yes, M. Gildesgame – yes, P. Heidell – yes, D. Kaplan – yes, N. Stevens – yes, and D. White – yes.

IV. Hearings

1. Certificate of Compliance: 34 Dudley Street (Continued)
Documents: 34 Dudley Street COC Package



Arlington Conservation Commission

The commission voted to continue the hearing of the Request for Certificate of Compliance by Joseph R. Porter of VTP Associates, Inc., for the completed redevelopment at 34 Dudley Street (DEP #091-0309) to the July 7, 2022, meeting. N. Stevens motioned to continue the hearing. C. Tirone seconded. A roll call vote was taken: S. Chapnick – yes, C. Tirone – yes, M. Gildesgame – yes, P. Heidell – yes, D. Kaplan – yes, N. Stevens – yes, and D. White – yes, C. Garnett – yes, M. Schwartz – yes.

2. Notice of Intent: 34 Dudley Street (Continued)

Documents: 34 Dudley Notice of Intent Package, 34 Dudley Supplemental Materials Package, 34 Dudley NOI Permission Letter from Arlington Recreation Department, 34 Dudley NOI Signed by Arlington Recreation Department

The commission voted to continue the public hearing for the Notice of Intent for 34 Dudley Street (#091-0340). D. Kaplan motioned to continue the hearing. D. White seconded. A roll call vote was taken: S. Chapnick – yes, C. Tirone – yes, M. Gildesgame – yes, P. Heidell – yes, D. Kaplan – yes, N. Stevens – yes, and D. White – yes, C. Garnett – yes, M. Schwartz – yes.

3. Notice of Intent: 212 Pleasant Street (DEP #091-0341, Continued)

Documents: Notice of Intent: 212 Pleasant Street, Exhibit A - Floor Plans Existing & Proposed, Exhibit B - Land Mgmt, Exhibit C - NOI Filing Docs, Exhibit D - WPA Form 3, Correspondence between Wayne Chouinard and Nellie Aikenhead Regarding 212 Pleasant Street

N. Stevens recused himself from the proceedings. Applicant N. Aikenhead was unable to participate in the meetings owing to technical difficulties but was present. D. Morgan presented for N. Aikenhead.

D. Morgan reported that all requested supplemental materials were received. These included an updated survey revised and resubmitted Notice of Intent filing documents, site maps and plans showing the FEMA flood elevation and floodplain delineation, and clarification of Town criteria requirements for permeability of porous surfaces. D. Morgan said that the applicant had requested a letter from the Natural Heritage and Endangered Species program regarding Englemann's Flatsedge habitat. D. Morgan shared a letter from Town Engineer Wayne Chouinard to the applicant summarizing stormwater concerns about the site and proposing that care should be taken to dig to the C-layer of soil, add at least 12" of stone, and add an impervious barrier between the porous pavement area



Arlington Conservation Commission

and the retaining wall to ensure the increase in groundwater from the permeable parking area would not impact the house or wall.

D. Morgan relayed the applicant's request for a vote on the application with a condition on the permit that the Natural Heritage and Endangered Species program must approve before work can begin.

S. Chapnick opened the hearing for public comment. Hearing none, she closed the public comment period.

D. Kaplan motioned to close the hearing. M. Gildesgame seconded. A roll call vote was taken: S. Chapnick – yes, C. Tirone – yes, M. Gildesgame – yes, P. Heidell – yes, D. Kaplan – yes, and D. White – yes.

D. Kaplan motioned to issue the Order of Conditions with conditions to follow the advice of the Town engineer and requirements of the Natural Heritage and Endangered Species program. If any such requirements are made, the applicant shall present them to the commission for review. D. White seconded. A roll call vote was taken: S. Chapnick – yes, C. Tirone – yes, M. Gildesgame – yes, P. Heidell – yes, D. Kaplan – yes, and D. White – yes.

4. Certificate of Compliance: Downing Square at 19R Park Ave (Continued) Documents: 19R Park Ave COC Package. 19R Park Ave – Supplemental Materials

E. Schwarz confirmed appropriate installation at correct depths for the three trees in the rear of the property and demonstrated that sufficient wildlife passage was provided along the rear fence. E. Schwarz gave the difference between the approved dimensions of impervious surface under the Order of Conditions and the amount of impervious surface added post-construction. The amount installed was approximately 250 square feet less than approved. E. Schwarz requested the Town's assistance engaging abutters about the invasive management on site, particularly for Japanese knotweed. The Housing Corporation had engaged contractors to provide invasive management cost estimates, E. Schwarz said. D. Tierney added that wildlife passage is greater on the fence at the western side than at the rear of the property.

S. Chapnick reminded the commission that invasive control was not required by the Order of Conditions but is being provided voluntarily.



Arlington Conservation Commission

C. Tirone requested pictures of the westerly fence showing wildlife passage. S. Chapnick requested a copy of the invasive management plan.

N. Stevens motioned to issue a Certificate of Compliance for the project. D. White seconded. A roll call vote was taken: S. Chapnick – yes, C. Tirone – yes, M. Gildesgame – yes, P. Heidell – yes, D. Kaplan – yes, N. Stevens – yes, and D. White – yes.

N. Stevens motioned to adjourn. Meeting adjourned at 9:54 PM.

212 Pleasant Street - Notice of Intent

May 10, 2022

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○ Legal Notice Charge Authorization Form	
Exhibit D - WPA Form 3 - Notice of Intent and Wetland Fee Transmittal Form	

Project Narrative - 212 Pleasant Street NOI - 5/4/2022

Overview

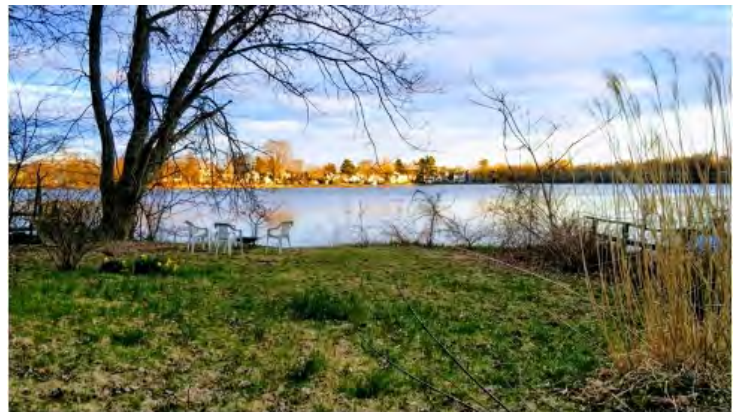
Applicant is requesting permission to add 350 sq ft to the existing house at 212 Pleasant Street, and to build a second floor on the new larger footprint. All work would occur in the upper portion of the site, furthest from Spy Pond, and above or tied in with the existing 5' retaining wall, in an area already partially built out with solid concrete steps leading to the front door.

Applicant is also requesting permission to create a patio and deck. In addition, Applicant would like to replace the existing shed on the same footprint and install a stepped trellis fence along the footpath ROW to the right of the site.

Mitigation, which will address existing issues, is proposed to include the replacement of impervious surfaces with pervious surfaces; elimination of runoff going toward Spy Pond from the driveway and parking area; erosion controls; and replacement of numerous invasive species with native ground cover, meadows and shrubs.



Front and right side of house and most of parking area (pond in background)



Backyard – this is approximately the 50' setback area; grass w plants on the right, along footpath ROW



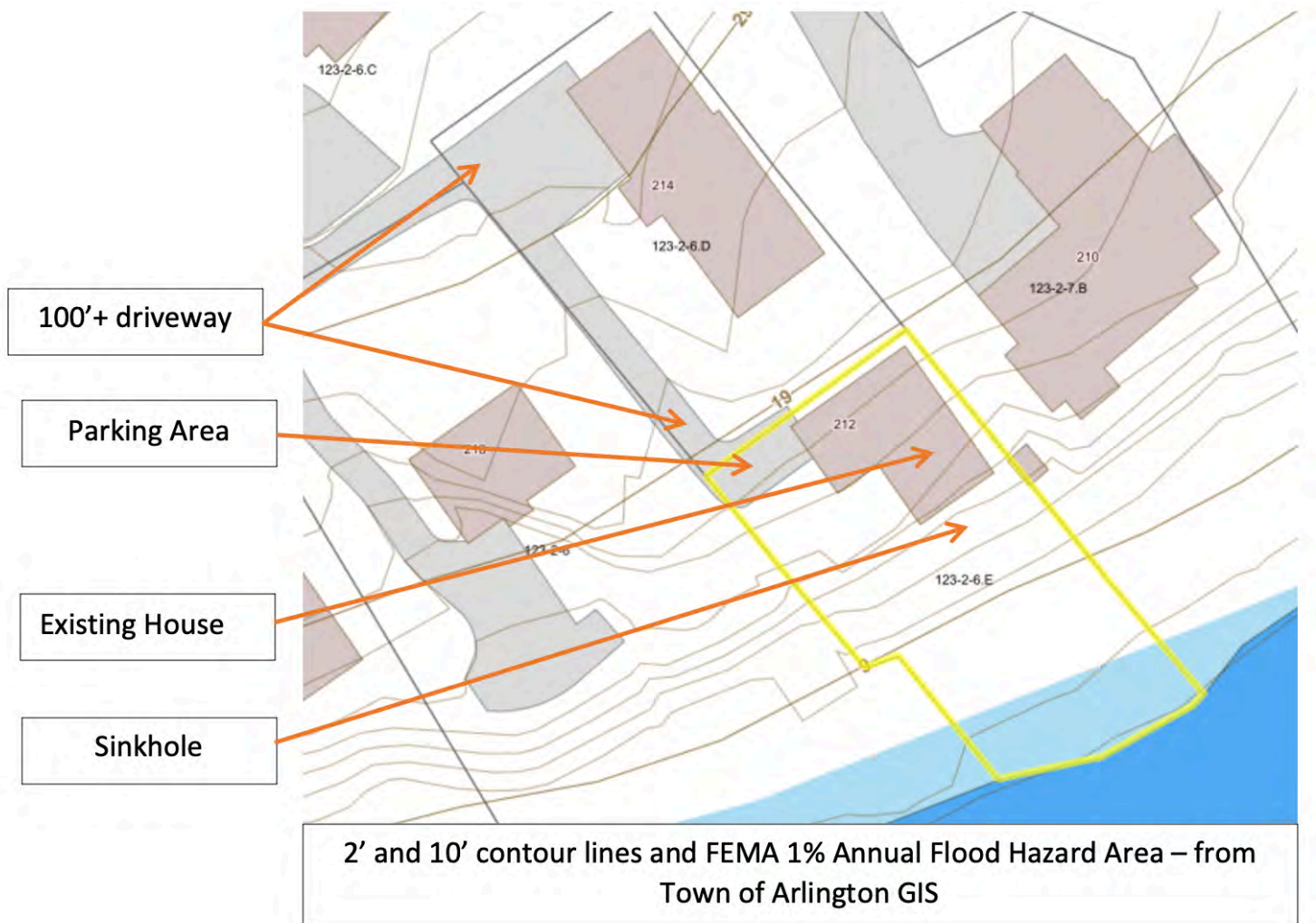
Last 100' leg of driveway leading to 212 Pleasant St; drops approximately 8' in elevation

Site Description

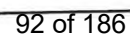
212 Pleasant Street is located well off the road, behind #216 and #214 Pleasant Street, on the banks of Spy Pond and almost entirely within the 100' Resource Area.

The lot slopes upward from the Pond, with a total elevation gain of approximately 14'. Within the 50' buffer, the slope is gentle; the steepest slopes are located directly behind the house between the 50' and 75' buffers. This area also includes a fair sized depression in the land (shown on the survey but not on the topo map).

Access to the property from Pleasant St is via a long downward sloping off-site Right-of-Way, the final 100' leg of which drops approximately 8' before meeting the parking area. The parking area slopes further toward the pond, with an approximately 2' drop between the upper and lower sides.



January 2022 Survey of Site and Access



Project Narrative - 212 Pleasant Street NOI - 5/4/2022

Building Proposal Summary

The Applicant is proposing to add a 350 sq ft addition to the rear right corner of the house in the "L" where the steps to the front door are currently located. The rear of the foundation would be located on the same plane as the existing retaining wall, with an additional 2' cantilevered beyond the wall.

The Applicant would also like to add an 8'x18' - 6 1/2" deck to the back of the existing house at the first floor level, with a porous surface beneath, and an approximately 225 sq ft patio at ground level to the rear of the addition. Both deck and patio would be entirely outside the 50' setback. And Applicant would like to replace the existing shed.

Architectural plans showing both existing and proposed building conditions, including the deck, are provided in **Exhibit A**. Information about the patio is provided in the following pages.



View of existing retaining wall where foundation would be located



Existing shed; replace on same footprint



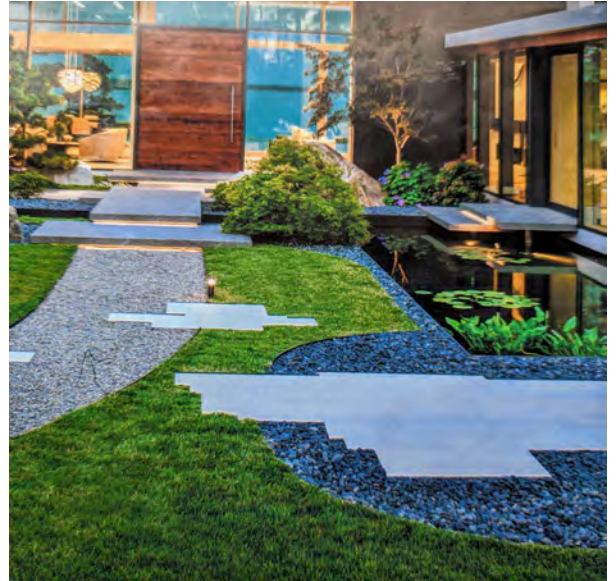
Existing concrete steps & area for addition

Project Narrative - 212 Pleasant Street NOI - 5/4/2022

Patio Proposal Details

The Applicant is requesting permission to create a patio behind the proposed addition and beneath the proposed deck.

The open patio would consist of bluestone pavers extending approximately 15' out from the rear of the house. The patio would have an irregular edge rather than filling the 15x15 space, and it would be located entirely outside of the 50' buffer. The patio beneath the deck would consist of bluestone pavers interspersed with either grass or another walkable permeable surface, similar to the one shown in the photo to the left.



In order to construct the patio, the land immediately behind the house will need to be regraded to a level that is approximately 1' below the current basement floor (approximately 11' elevation). This is the steepest part of the property and it includes the depression; leveling should eliminate any runoff that currently goes toward Spy Pond.

Applicant proposes a porous gabion wall following the 8.03 foot contour line to retain the soil. The wall would range in height from approximately 2' at the end closest to the steps to 3' at the end closest to the shed.



Example gabion wall



94 of 186
Standing at top of depression

Project Narrative - 212 Pleasant Street NOI - 5/4/2022

Mitigation

212 Pleasant Street is a somewhat degraded site. As part of the project, the Applicant is proposing to ameliorate existing significant sedimentation, runoff, erosion, and the depression in the back, thereby making the site stronger ecologically rather than weaker. Note: the Applicants purchased the property in August 2021; the current conditions described in this application were existing at that time.

Parking – Currently, the parking area, which is located within the 100' setback line, consists of 20'x24' of impervious asphalt pavement that slopes toward the pond. There is visible runoff and sedimentation following even a light rain.

The Applicant proposes to remove the asphalt and upgrade the parking to a level pervious surface that captures rain and runoff, and to slightly enlarge the area to 22' x 29'. An important added benefit of the improved parking would be to capture the runoff from the final 96' long leg of the driveway, which, though it is both off site and outside the 100' setback, currently flows across the parking area and toward Spy Pond. The ROW is 12' wide; the paved portion is approximately 8' wide.

Applicant proposes to accomplish this with a system of interlocking permeable ProLite pavers manufactured by TrueGrid, resting on a 6" bed of gravel. The gravel will create a water catchment space and the pavers would hold gravel in place and create a strong permeable surface suitable for parking (add'l details on following page).



Parking Area - on site



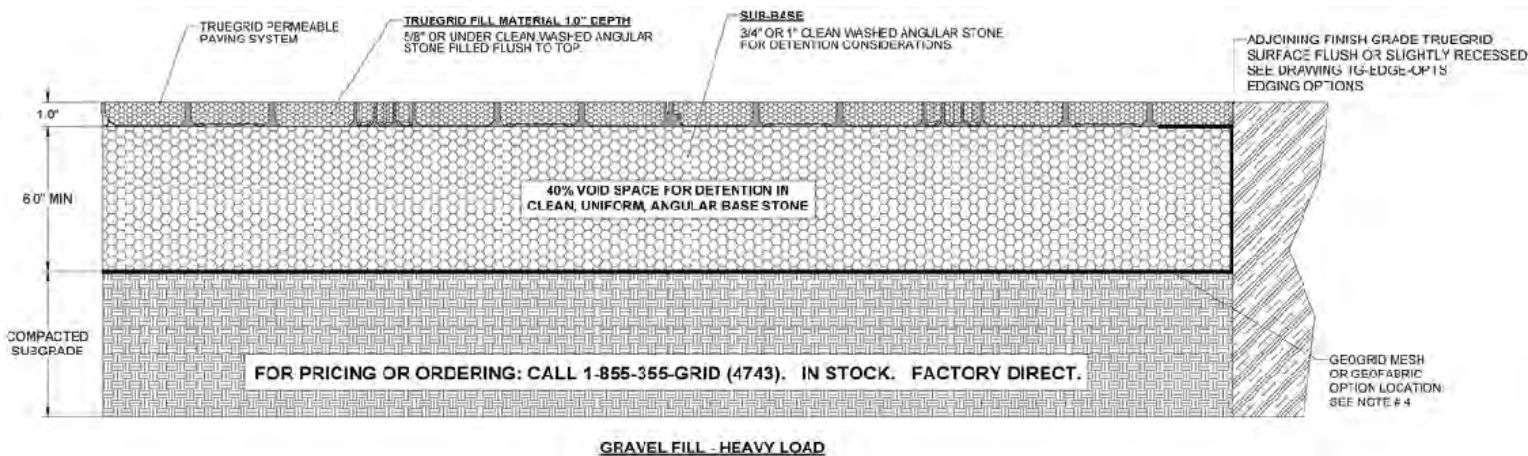
Drive leading to property - off site

Project Narrative - 212 Pleasant Street NOI - 5/4/2022

The water detention system will capture water running off the right-of-way driveway, as well as retaining on-site rain and snow melt.

System Notes:

- Geogrid mesh at base of catchment area
- 6" deep bed of 3/4" - 1" clean angular stone with 40% void space
- 1" TrueGrid permeable paver system filled with 5/8" or smaller clean angular stone flush with top



ProLite Paver System

Project Narrative - 212 Pleasant Street NOI - 5/4/2022

Stairs to Pond - The existing concrete block “steps” to the pond were built with cinder blocks placed unevenly on a steep path. They do not meet code, are unstable, and they divert the water to the left side, where it is eroding the soil, undermining the retaining wall, and exposing the roots of the yew tree. The Applicants propose to address this situation by regrading and installing new steps that are largely porous.

Applicants propose to remove all the cinder blocks, reduce the grade, and create 12 new steps with 7” risers located over a 20’ distance with a 7 foot drop (84”) from the parking area to the mostly flat lower portion of the path (note: lower half of the path is not on Applicants property).

This spacing will allow for equidistant 1’ 8” long treads. The back portion of each tread will be filled with permeable bedding sand and gravel, then compact slightly to form a solid foundation for rough-cut granite edging.

At the bottom of the 12-step staircase described above, three additional steps will be needed. These steps will each have 6’ long treads with same fill and edging as the upper stairs, and will cover an 18’ distance with a 1’ 4” drop.

The areas on the Premises to the left and right of the granite steps will be planted with native grasses, low bushes and indigenous plants to stabilize the area and prevent erosion.

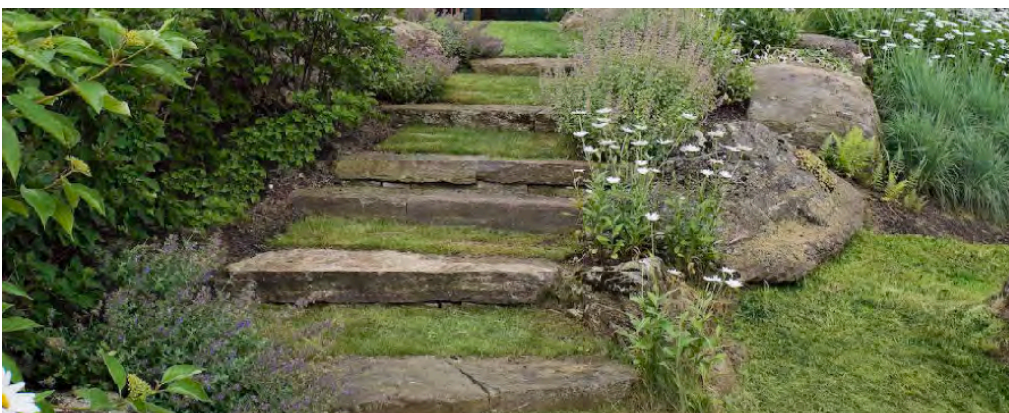
The photos below and on the next page provide examples



Existing concrete block steps
- looking up from Pond



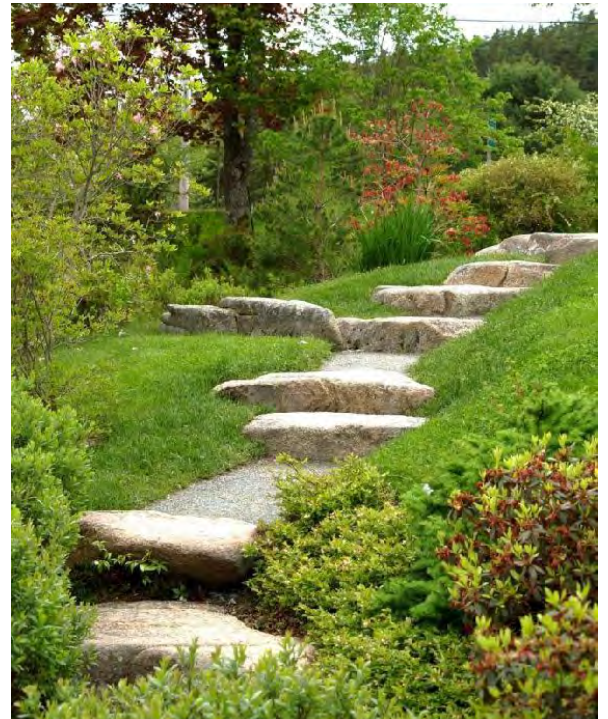
Existing concrete block steps
- looking toward Pond



An alternate style of granite with grass or stoppable plants between edges

Native Plantings and Meadows

As further mitigation, the Applicant is also proposing to replace invasive species with native plants, shrubs, and meadows. Lawn will be replaced with low-growing native plants throughout the the 25' buffer. A thorough Land Management Plan, which includes existing condition and proposed plantings, was prepared by Parterre Ecological - please see **Exhibit B**. Photos below and on the following page are examples of future native plants.



Proposed rough-cut granite edge steps with permeable compacted gravel between the step



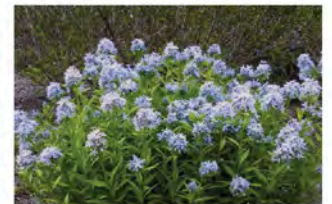
DWARF CRESTED IRIS
Iris cristata



BUTTERFLY MILKWEED
Asclepias tuberosa



PRAIRIE DROPSEED
Sporobolus heterobolus



PRAIRIE BLUESTAR
Amsonia tabermontana



PENNSYLVANIA SEDGE
Carex Pennsylvanica



COLUMBINE
Aquilegia canadensis



FOAMFLOWER
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CARDINAL FLOWER
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SERVICEBERRY FLOWER
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SERVICEBERRY FRUIT (EDIBLE)
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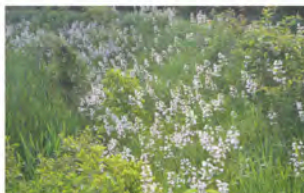
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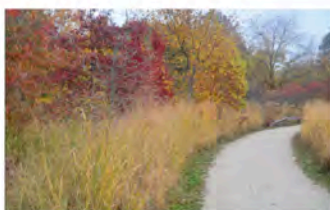
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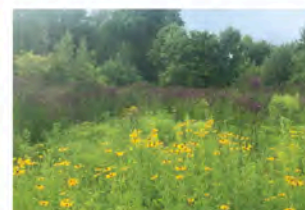
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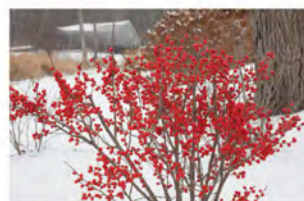
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Aronia melanocarpa



BLACK CHOKEBERRY (EDIBLE)
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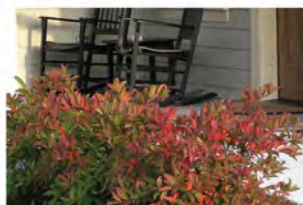
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Spiraea alba



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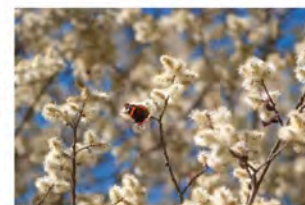
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Itea virginiana



LITTLE HENRY ITEA
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Salix discolor



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Project Narrative - 212 Pleasant Street NOI - 5/4/2022

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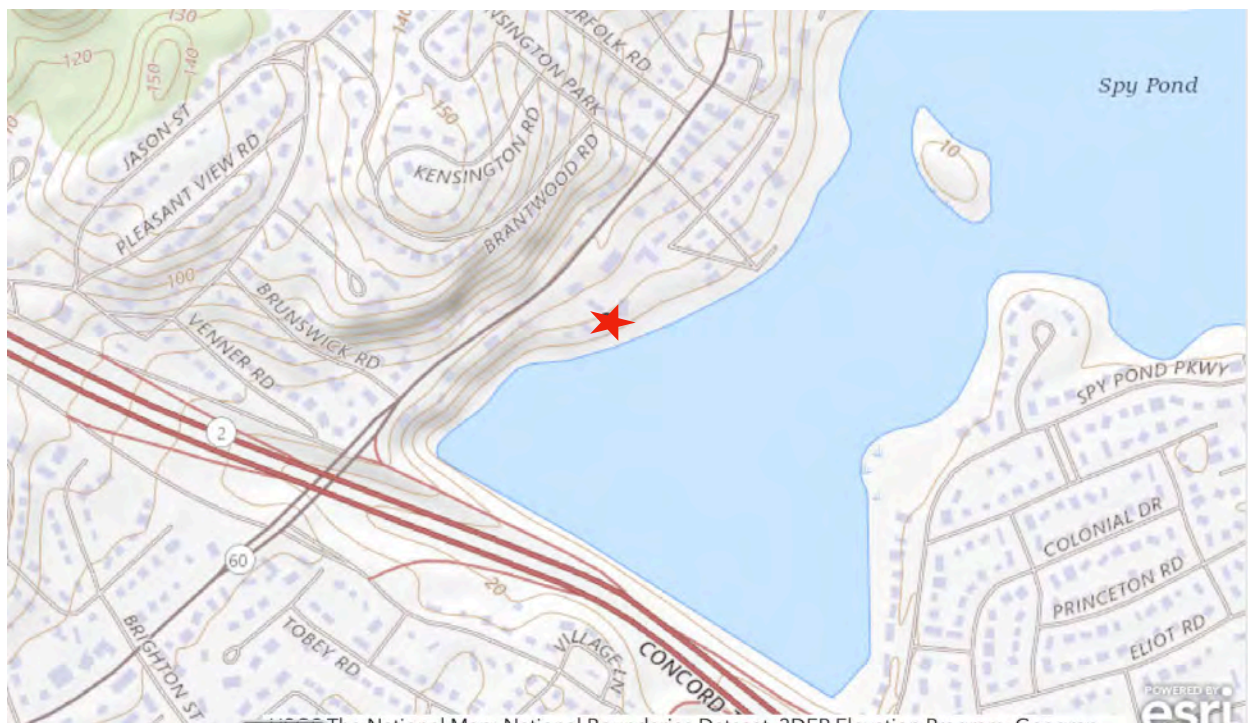
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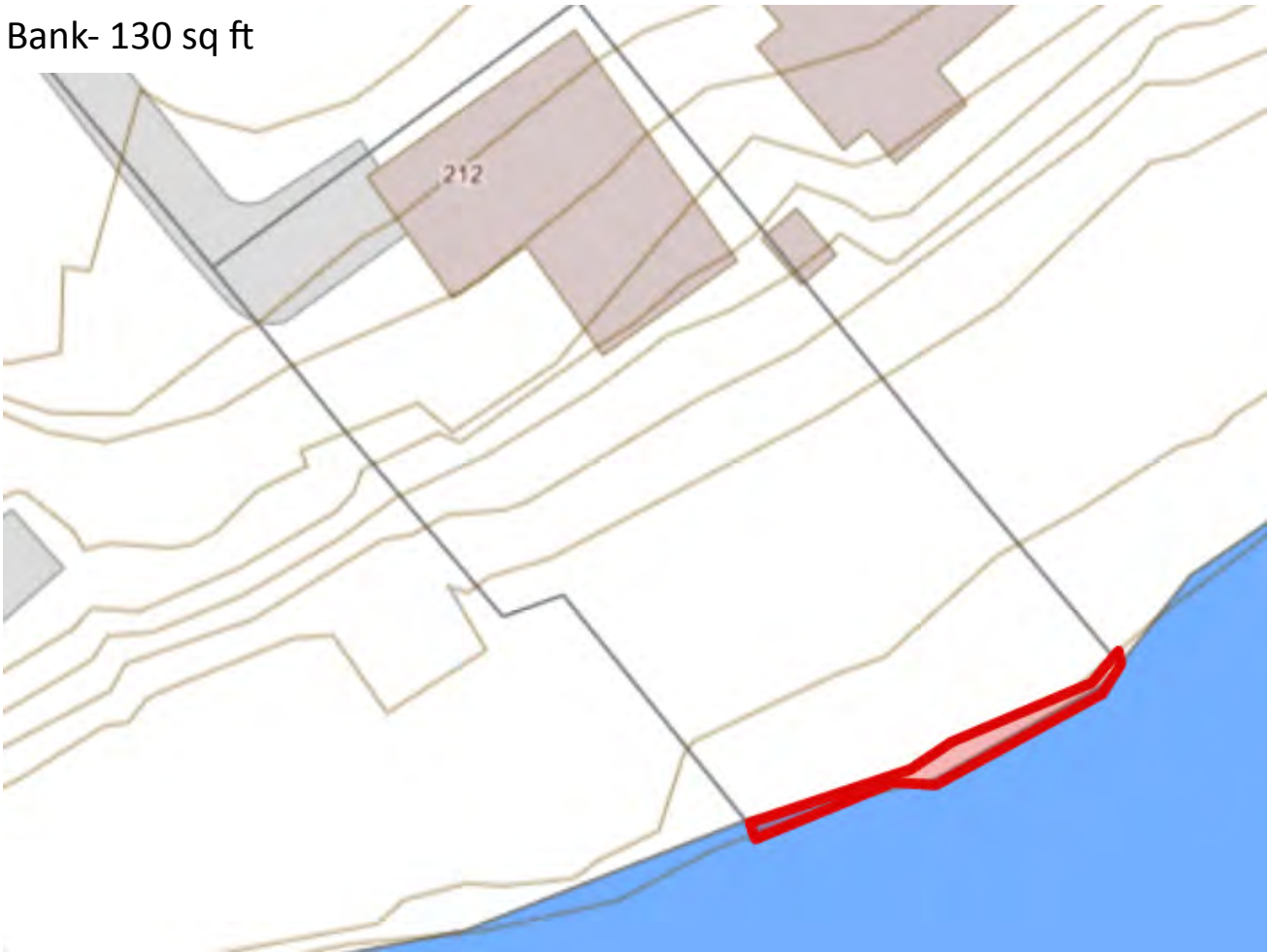
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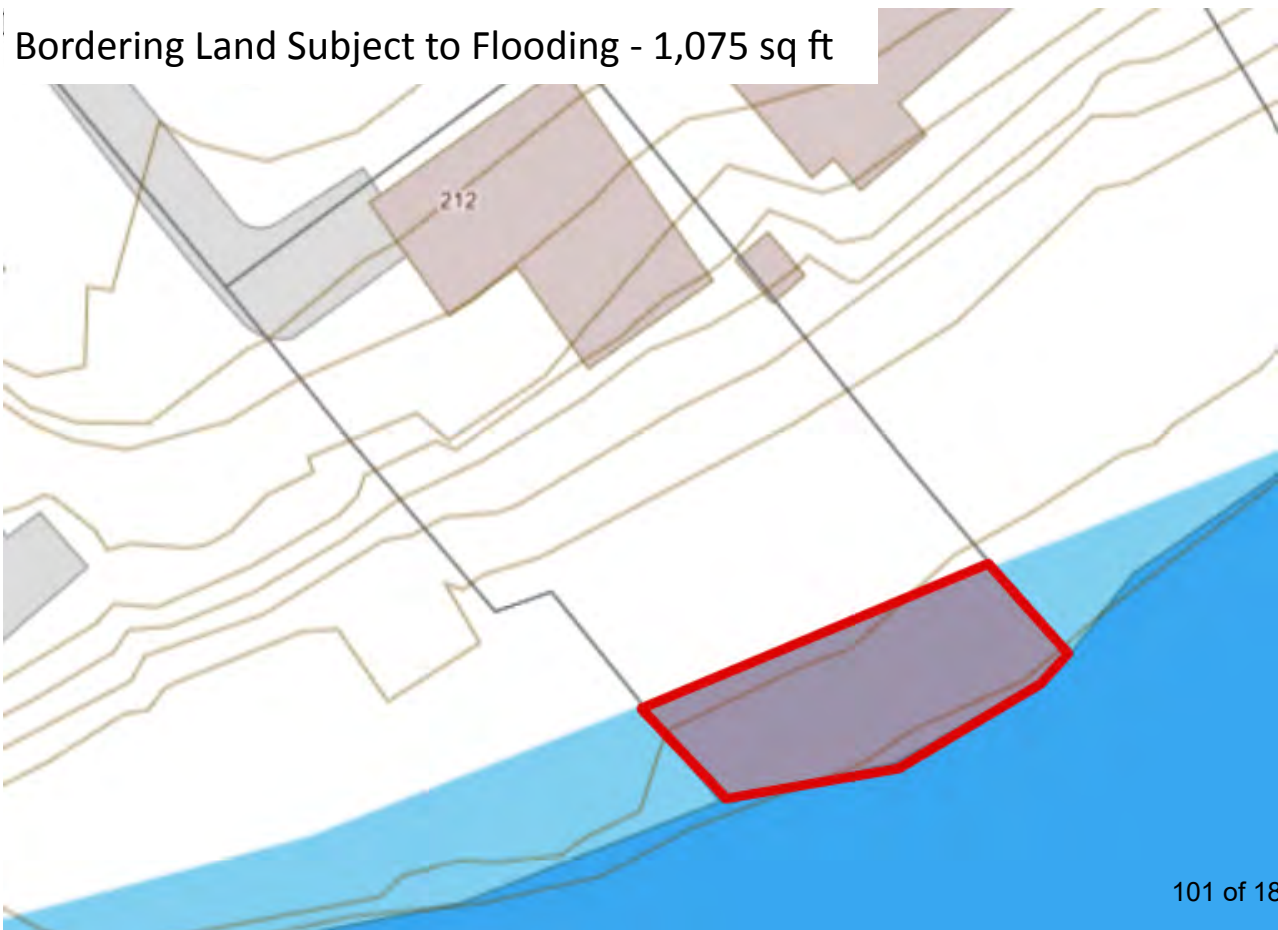
212 Pleasant Street - Topo Map



Bank- 130 sq ft



Bordering Land Subject to Flooding - 1,075 sq ft



National Flood Hazard Layer FIRMette



31°45'54"N 42°24'48"W



Legend

SEE THE REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Minimum Base Flood Elevation (BFE) Zone A, 1% ARI Water Elevation Zone A, 1% ARI Regulatory Floodway
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Area with Repetitive Flood Right due to Levee, See Map A, Zone A
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MAP PANELS

Digital Data Available
No Digital Data Available
Unmapped

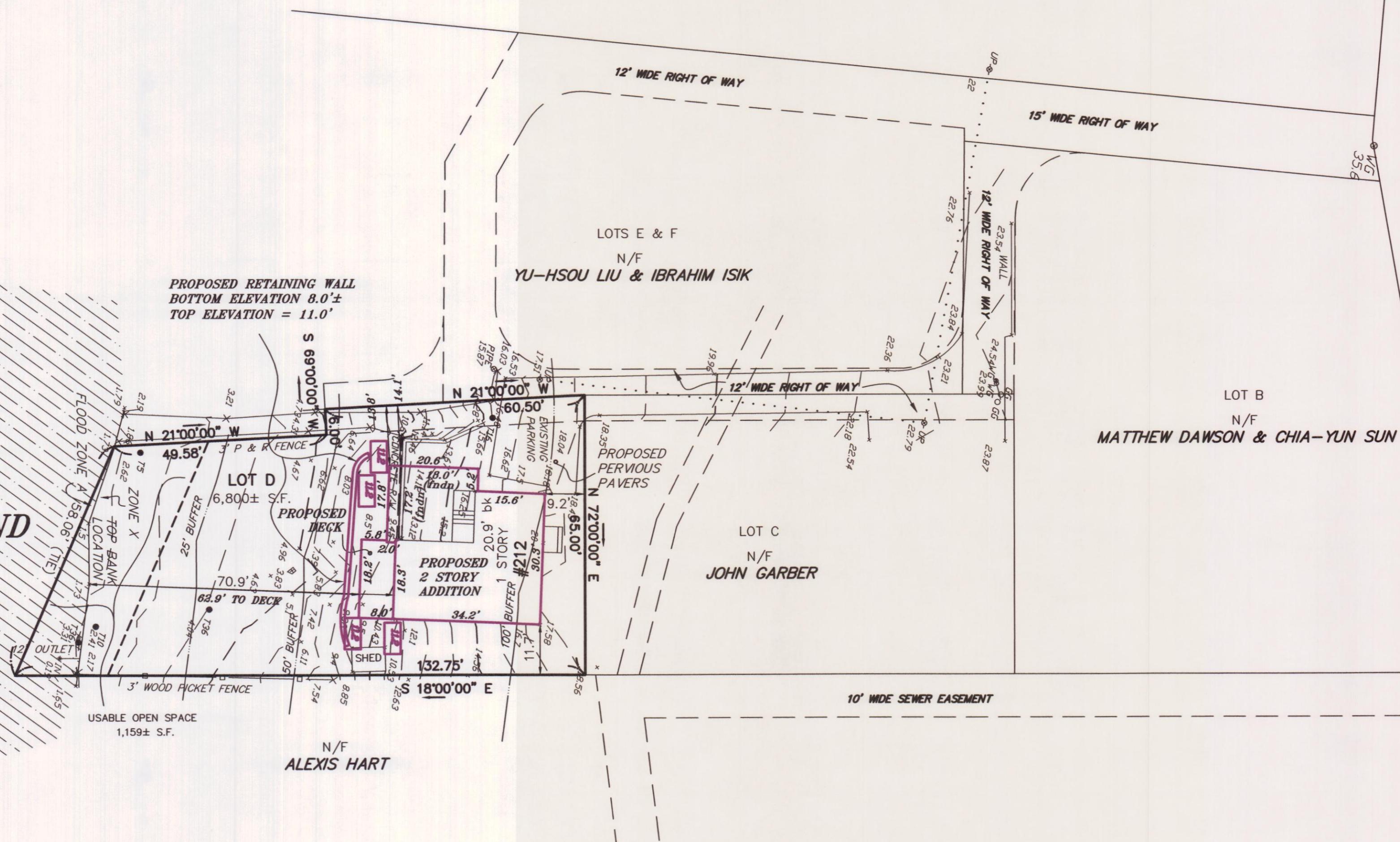
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Project Narrative - 212 Pleasant Street NOI - 5/4/2022

SPY POND



PLEASANT STREET

PREPARED FOR: MARK HALLIDAY

NOTE: UP = UTILITY POLE

EXISTING AVERAGE GRADE
(15.0+17.5)/2= 16.25
(17.5+16.7)/2= 17.1
(16.7+9.5)/2= 13.1
(9.5+8.5)/2= 9.0
(8.5+15.2)/2= 11.85
(15.2+15.0)/2= 15.1
(16.25+17.1+13.1+9.0+11.85+15.1)/6 = 13.73

BASEMENT CEILING = 19
EXISTING AVERAGE GRADE = 13.73

PROPOSED AVERAGE GRADE
(16.25+17.5)/2= 16.88
(17.5+16.7)/2= 17.1
(16.7+11.2)/2= 13.95
(11.2+11.2)/2= 11.2
(11.2+15.0)/2= 13.1
(15.0+16.25)/2= 15.63
(16.88+17.1+13.95+11.2+13.1+15.63)/6 = 14.64

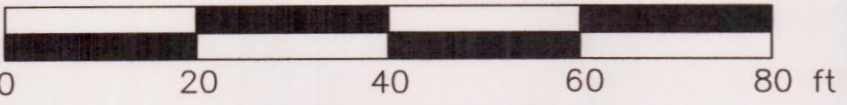
BASEMENT CEILING = 19
PROPOSED AVERAGE GRADE = 14.64
PROPOSED CEILING IS 4.36' ABOVE PROPOSED GRADE

11.2' PROPOSED ELEVATION

EXISTING BASEMENT = 12.2
EXISTING FIRST FLOOR = 20.0
EXIST. AVE. GRADE = 14.7'
PROPOSED PEAK ELEVATION = 40.8
PROPOSED HEIGHT 26.1'
EXIST. IMPERVIOUS = 1352.8± S.F.
PROPOSED IMPERVIOUS = 1,244.9± S.F.
PROPOSED GROSS FLOOR AREA (per architect) = 3,293± s.f.
EXISTING GROSS FLOOR AREA = 1,648± s.f.
EXISTING FLOOR AREA RATIO = 24.2%

CONSERVATION PLAN
IN
ARLINGTON, MA
(MIDDLESEX COUNTY)

SCALE: 1"= 20' DATE: JANUARY 12, 2022



ROBER SURVEY
1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
6645PP1.DWG

212 Pleasant Street - Notice of Intent

May 10, 2022

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Native Plantings and Meadows	9
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FEMA Flood Map	13
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Exhibit B - Vegetation and Land Management Plan, Parterre Ecological	
Exhibit C - NOI Filing Documents	
○ Bylaw Transmittal Notice	
○ Abutter Notification Letter	
○ Affidavit of Service	
○ Legal Notice Charge Authorization Form	
Exhibit D - WPA Form 3 - Notice of Intent and Wetland Fee Transmittal Form	

Project Narrative - 212 Pleasant Street NOI - 5/4/2022

Overview

Applicant is requesting permission to add 350 sq ft to the existing house at 212 Pleasant Street, and to build a second floor on the new larger footprint. All work would occur in the upper portion of the site, furthest from Spy Pond, and above or tied in with the existing 5' retaining wall, in an area already partially built out with solid concrete steps leading to the front door.

Applicant is also requesting permission to create a patio and deck. In addition, Applicant would like to replace the existing shed on the same footprint and install a stepped trellis fence along the footpath ROW to the right of the site.

Mitigation, which will address existing issues, is proposed to include the replacement of impervious surfaces with pervious surfaces; elimination of runoff going toward Spy Pond from the driveway and parking area; erosion controls; and replacement of numerous invasive species with native ground cover, meadows and shrubs.



Front and right side of house and most of parking area (pond in background)



Backyard – this is approximately the 50' setback area; grass w plants on the right, along footpath ROW



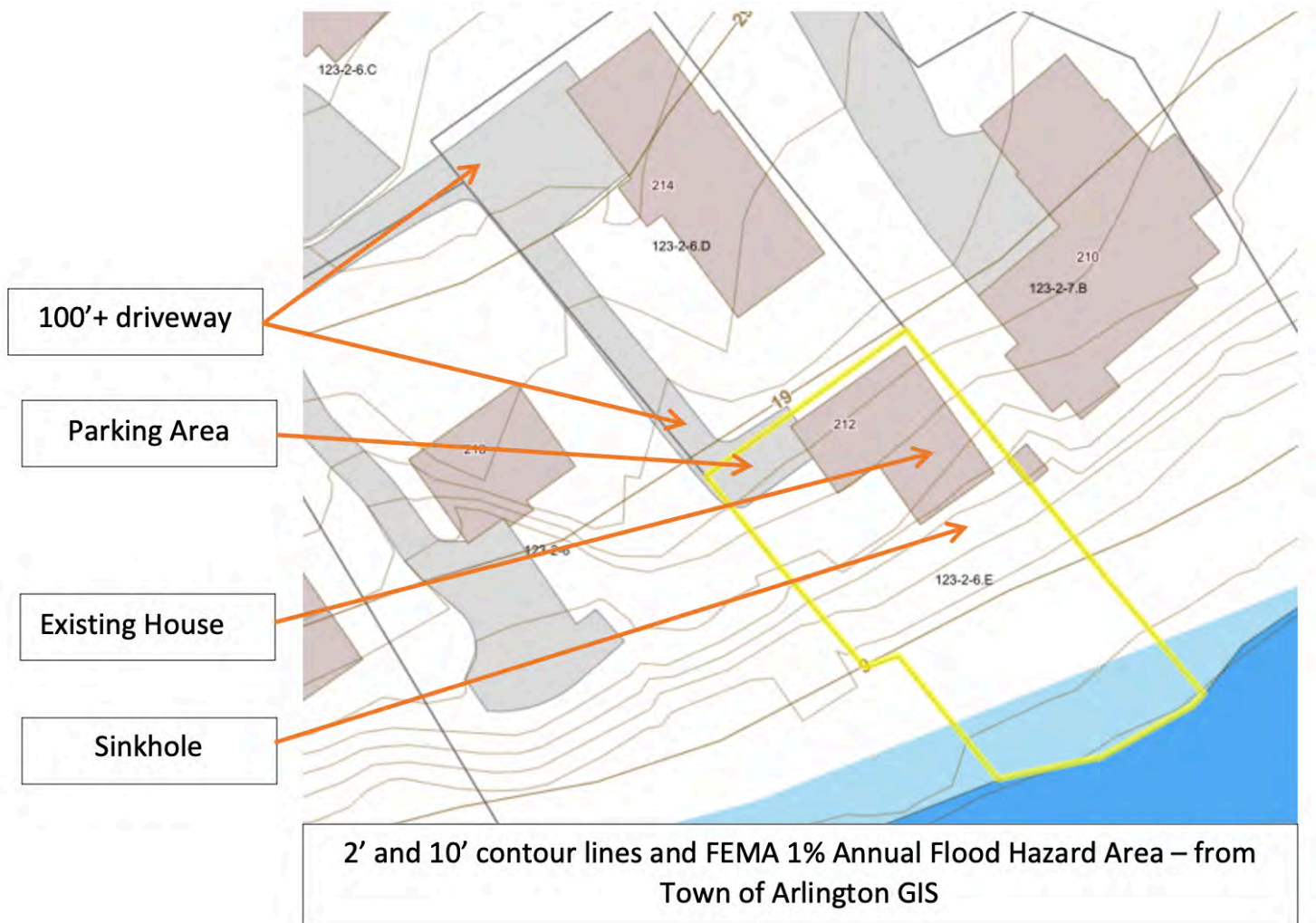
Last 100' leg of driveway leading to 212 Pleasant St; drops approximately 8' in elevation

Site Description

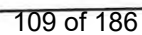
212 Pleasant Street is located well off the road, behind #216 and #214 Pleasant Street, on the banks of Spy Pond and almost entirely within the 100' Resource Area.

The lot slopes upward from the Pond, with a total elevation gain of approximately 14'. Within the 50' buffer, the slope is gentle; the steepest slopes are located directly behind the house between the 50' and 75' buffers. This area also includes a fair sized depression in the land (shown on the survey but not on the topo map).

Access to the property from Pleasant St is via a long downward sloping off-site Right-of-Way, the final 100' leg of which drops approximately 8' before meeting the parking area. The parking area slopes further toward the pond, with an approximately 2' drop between the upper and lower sides.



January 2022 Survey of Site and Access



Project Narrative - 212 Pleasant Street NOI - 5/4/2022

Building Proposal Summary

The Applicant is proposing to add a 350 sq ft addition to the rear right corner of the house in the "L" where the steps to the front door are currently located. The rear of the foundation would be located on the same plane as the existing retaining wall, with an additional 2' cantilevered beyond the wall.

The Applicant would also like to add an 8'x18' - 6 1/2" deck to the back of the existing house at the first floor level, with a porous surface beneath, and an approximately 225 sq ft patio at ground level to the rear of the addition. Both deck and patio would be entirely outside the 50' setback. And Applicant would like to replace the existing shed.

Architectural plans showing both existing and proposed building conditions, including the deck, are provided in **Exhibit A**. Information about the patio is provided in the following pages.



View of existing retaining wall where foundation would be located



Existing shed; replace on same footprint



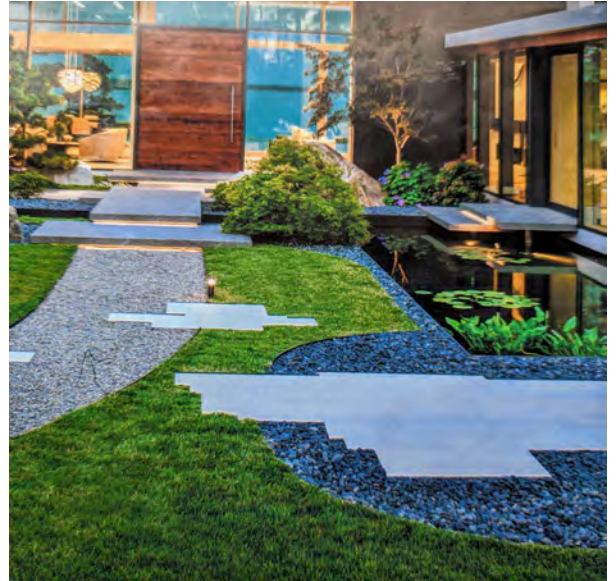
Existing concrete steps & area for addition

Project Narrative - 212 Pleasant Street NOI - 5/4/2022

Patio Proposal Details

The Applicant is requesting permission to create a patio behind the proposed addition and beneath the proposed deck.

The open patio would consist of bluestone pavers extending approximately 15' out from the rear of the house. The patio would have an irregular edge rather than filling the 15x15 space, and it would be located entirely outside of the 50' buffer. The patio beneath the deck would consist of bluestone pavers interspersed with either grass or another walkable permeable surface, similar to the one shown in the photo to the left.



In order to construct the patio, the land immediately behind the house will need to be regraded to a level that is approximately 1' below the current basement floor (approximately 11' elevation). This is the steepest part of the property and it includes the depression; leveling should eliminate any runoff that currently goes toward Spy Pond.

Applicant proposes a porous gabion wall following the 8.03 foot contour line to retain the soil. The wall would range in height from approximately 2' at the end closest to the steps to 3' at the end closest to the shed.



Example gabion wall



111 of 186
Standing at top of depression

Project Narrative - 212 Pleasant Street NOI - 5/4/2022

Mitigation

212 Pleasant Street is a somewhat degraded site. As part of the project, the Applicant is proposing to ameliorate existing significant sedimentation, runoff, erosion, and the depression in the back, thereby making the site stronger ecologically rather than weaker. Note: the Applicants purchased the property in August 2021; the current conditions described in this application were existing at that time.

Parking – Currently, the parking area, which is located within the 100' setback line, consists of 20'x24' of impervious asphalt pavement that slopes toward the pond. There is visible runoff and sedimentation following even a light rain.

The Applicant proposes to remove the asphalt and upgrade the parking to a level pervious surface that captures rain and runoff, and to slightly enlarge the area to 22' x 29'. An important added benefit of the improved parking would be to capture the runoff from the final 96' long leg of the driveway, which, though it is both off site and outside the 100' setback, currently flows across the parking area and toward Spy Pond. The ROW is 12' wide; the paved portion is approximately 8' wide.

Applicant proposes to accomplish this with a system of interlocking permeable ProLite pavers manufactured by TrueGrid, resting on a 6" bed of gravel. The gravel will create a water catchment space and the pavers would hold gravel in place and create a strong permeable surface suitable for parking (add'l details on following page).



Parking Area - on site



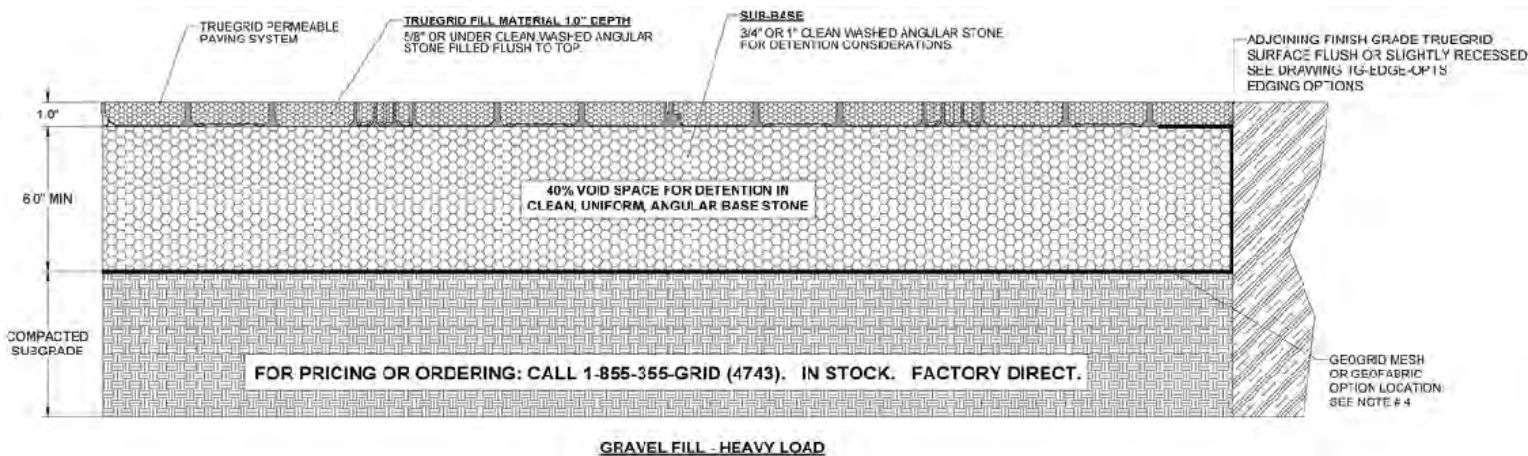
Drive leading to property - off site

Project Narrative - 212 Pleasant Street NOI - 5/4/2022

The water detention system will capture water running off the right-of-way driveway, as well as retaining on-site rain and snow melt.

System Notes:

- Geogrid mesh at base of catchment area
- 6" deep bed of 3/4" - 1" clean angular stone with 40% void space
- 1" TrueGrid permeable paver system filled with 5/8" or smaller clean angular stone flush with top



ProLite Paver System

Project Narrative - 212 Pleasant Street NOI - 5/4/2022

Stairs to Pond - The existing concrete block “steps” to the pond were built with cinder blocks placed unevenly on a steep path. They do not meet code, are unstable, and they divert the water to the left side, where it is eroding the soil, undermining the retaining wall, and exposing the roots of the yew tree. The Applicants propose to address this situation by regrading and installing new steps that are largely porous.

Applicants propose to remove all the cinder blocks, reduce the grade, and create 12 new steps with 7” risers located over a 20’ distance with a 7 foot drop (84”) from the parking area to the mostly flat lower portion of the path (note: lower half of the path is not on Applicants property).

This spacing will allow for equidistant 1’ 8” long treads. The back portion of each tread will be filled with permeable bedding sand and gravel, then compact slightly to form a solid foundation for rough-cut granite edging.

At the bottom of the 12-step staircase described above, three additional steps will be needed. These steps will each have 6’ long treads with same fill and edging as the upper stairs, and will cover an 18’ distance with a 1’ 4” drop.

The areas on the Premises to the left and right of the granite steps will be planted with native grasses, low bushes and indigenous plants to stabilize the area and prevent erosion.

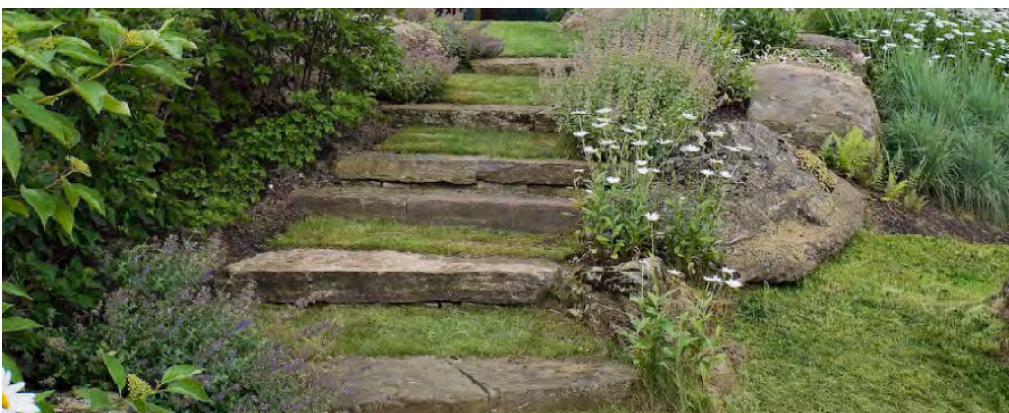
The photos below and on the next page provide examples



Existing concrete block steps
- looking up from Pond



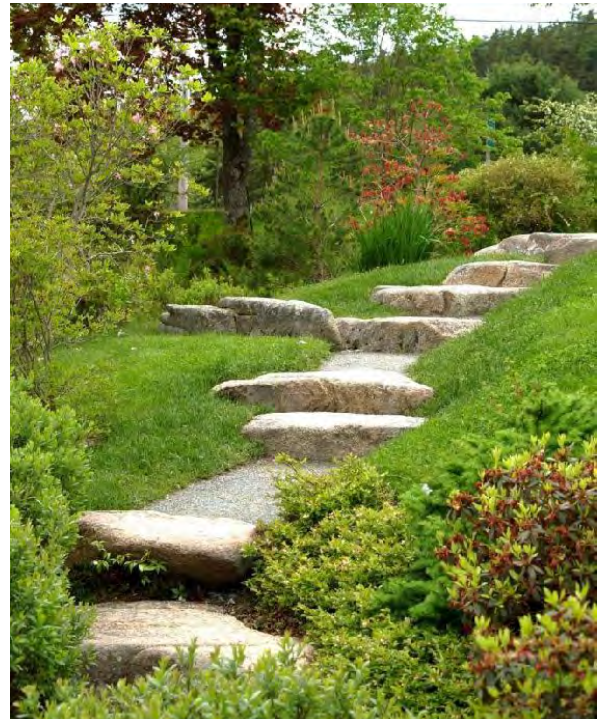
Existing concrete block steps
- looking toward Pond



An alternate style of granite with grass or stoppable plants between edges

Native Plantings and Meadows

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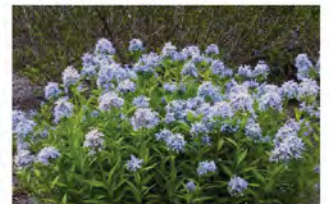
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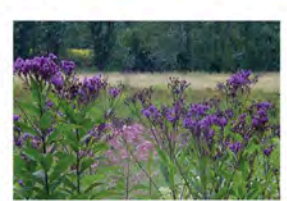
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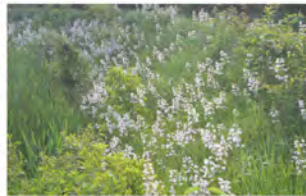
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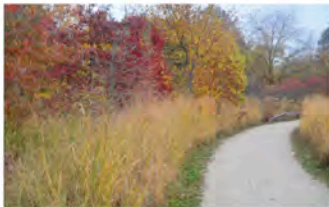
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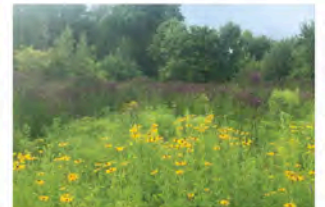
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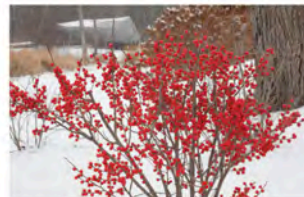
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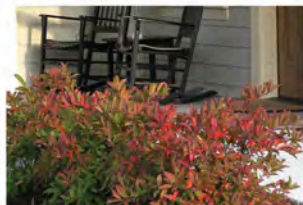
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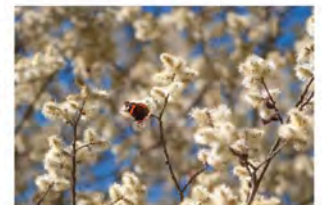
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Project Narrative - 212 Pleasant Street NOI - 5/4/2022

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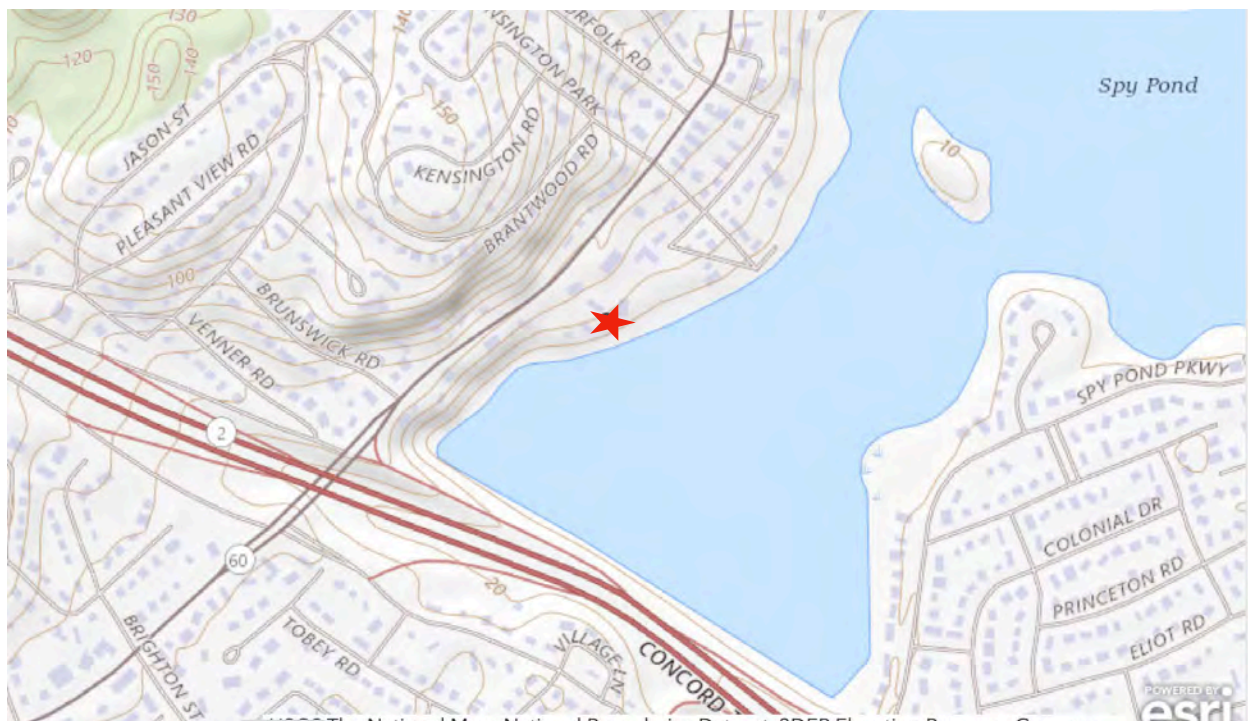
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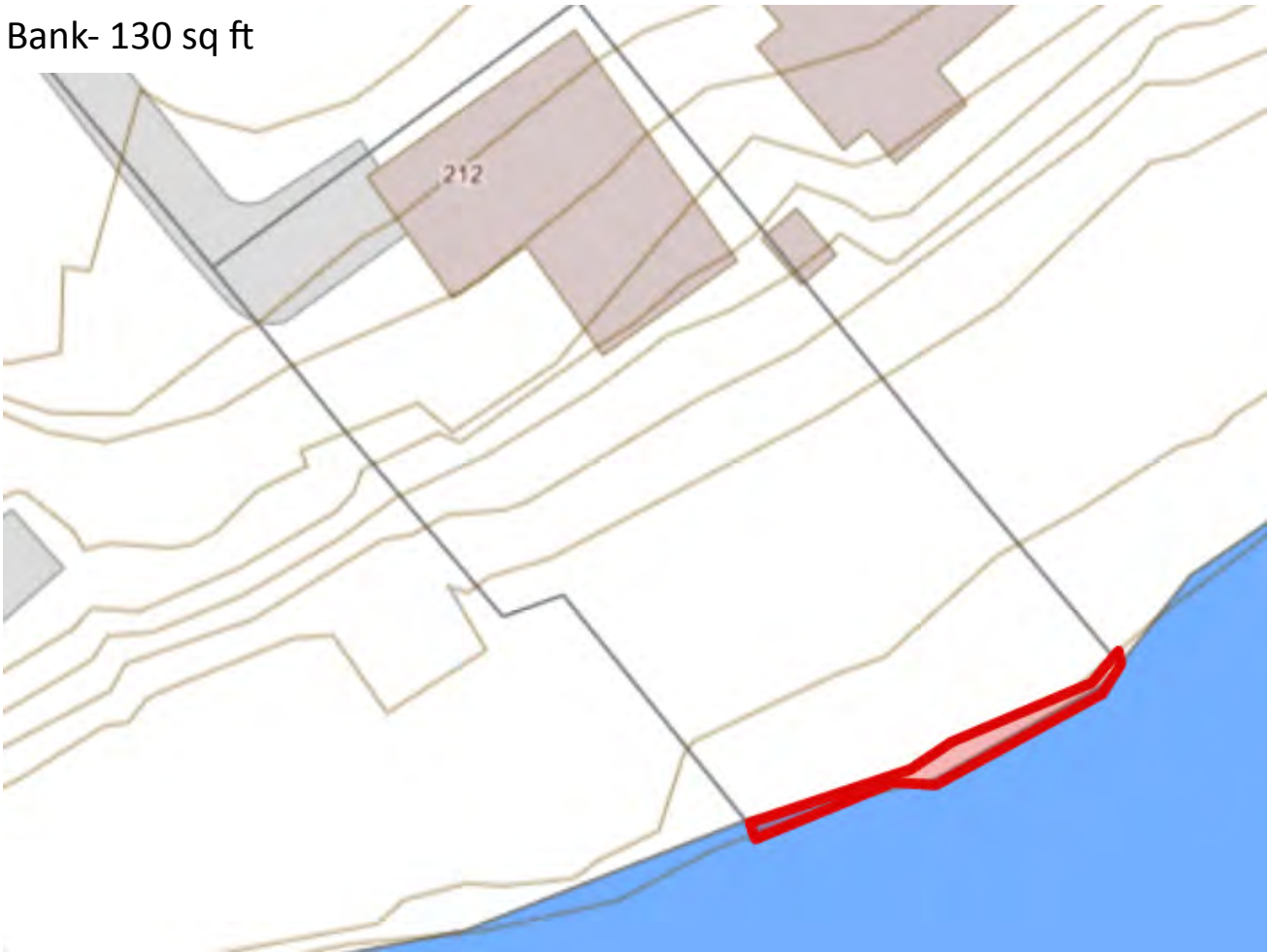
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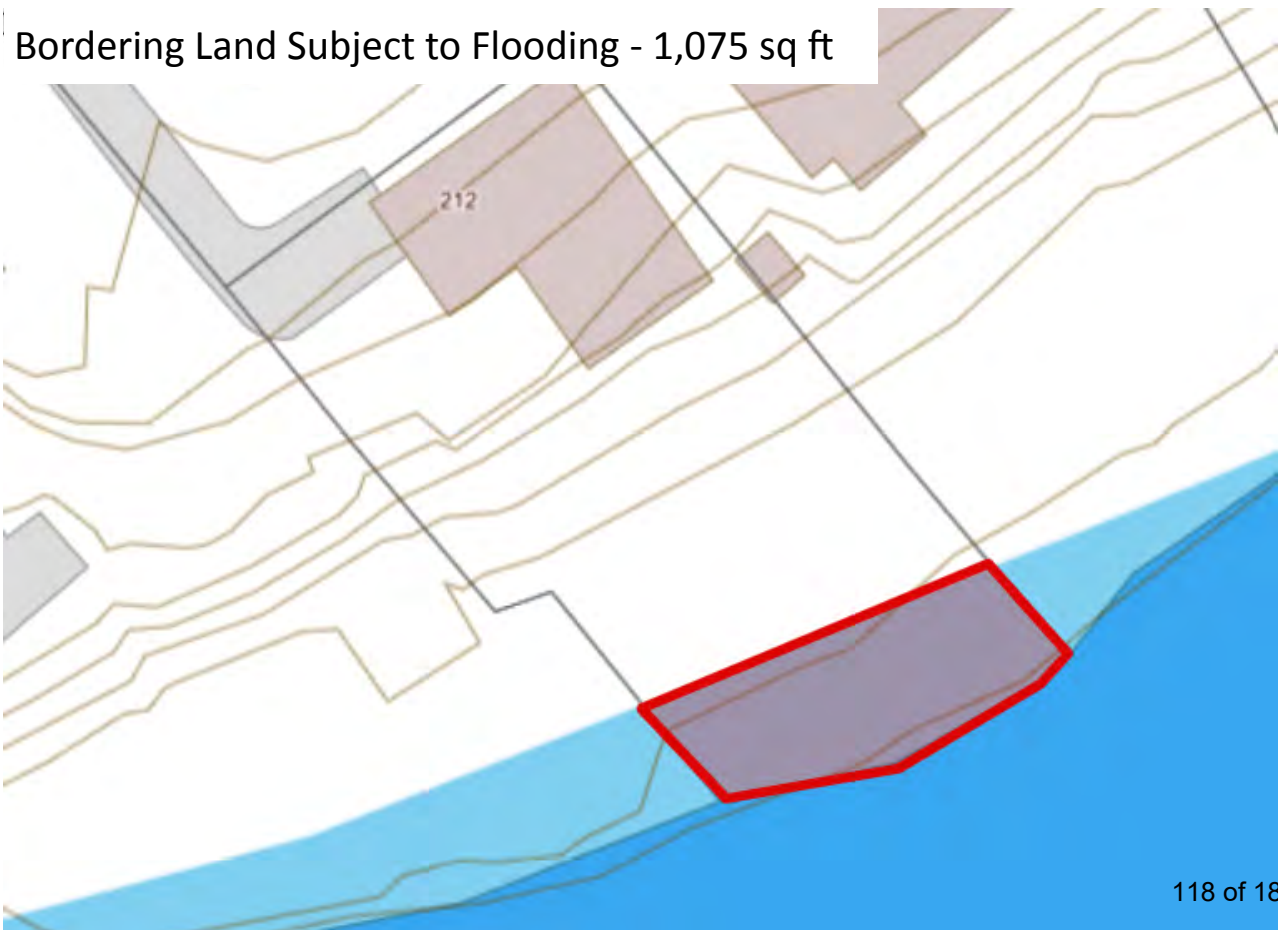
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The data displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA standards for the use of digital flood maps if it is in accordance with the following: The base map shown complies with FEMA base map accuracy standards.

The flood hazard information is derived directly from the authoritative MFL web services provided by FEMA. This map was updated on 10/28/2020 at 11:25 AM and data may reflect changes or improvements subsequent to this date and time. The MFL and effective information may change or become superseded by new data over time.

This map is not to be used for the site or other of the following map elements do not appear: Base map information, flood zone labels, legend, scale bar, map boundary, data, boundary, coordinate, FIRM panel number, and FIRM effective date. Map images for unincorporated and unincorporated areas cannot be used for regulatory purposes.



Project Narrative - 212 Pleasant Street NOI - 5/4/2022



TOWN OF ARLINGTON
DEPARTMENT OF PLANNING and
COMMUNITY DEVELOPMENT

TOWN HALL, 730 MASSACHUSETTS AVENUE
ARLINGTON, MASSACHUSETTS 02476
TELEPHONE 781-316-3090

MEMORANDUM

To: Zoning Board of Appeals
From: Claire Ricker, AICP, Director, Dept. of Planning and Community Development
Marisa Lau, Senior Planner
Date: 3/24/2023
RE: Docket 3733 – 212 Pleasant Street; Special Permit under Zoning Bylaw 5.4.2.B(6)
Districts and Uses (Large Additions)

The applicant, Nellie Aikenhead, seeks a Special Permit in accordance with Section 5.4.2.B(6) Districts and Uses (Large Additions) of the Zoning Bylaw. The applicant seeks to construct a two-story addition to a one-story single-family home. The addition would increase the total square footage from 822 SF to 2,175 SF (+1,353 SF or a 165% increase over the existing structure). Under the proposal the lot coverage would increase from 12.1% to 17.3% (+5.2%).

The existing structure is located on an interior lot in the R1 Zoning District and is nonconforming with the Zoning Bylaw's frontage and side yard requirements on the northern side. The proposed addition would extend the building footprint 5 feet 3 inches into the western side yard decreasing the setback from 20 feet 9 inches to 15 feet 6 inches (10 feet required). The footprint would also be extended approximately 2 feet into the rear (southern) yard. A cantilevered rear porch is proposed. The building height would increase from 17 feet 3.5 inches to 26 feet 1 inch under the proposal (+8 feet 9.5 inches). The addition would not increase any of the existing nonconformities.

The following is an application of the Special Permit criteria (Zoning Bylaw Section 3.3.3):

Criterion #1: Requested Use

The requested use is permitted through a Special Permit in the R1 zoning district.

Criterion #2: Public Convenience/Welfare

This proposal would provide additional living space.

Criterion #3: Undue Traffic Congestion/Impairment of Public Safety

There would not be an increase in traffic congestion or an impairment of public safety.

Criterion #4: Undue Burden on Municipal Systems

There would not be an undue burden on municipal systems.

Criterion #5: Special regulations

This proposal would not result in the need for special regulations.

Criterion #6: Integrity/Character of District; Detrimental to Health, Morals, Welfare

The proposal includes an indoor/outdoor room in the basement, a two-story addition located in the rear yard, and a new upper level with 999 SF of gross floor area.

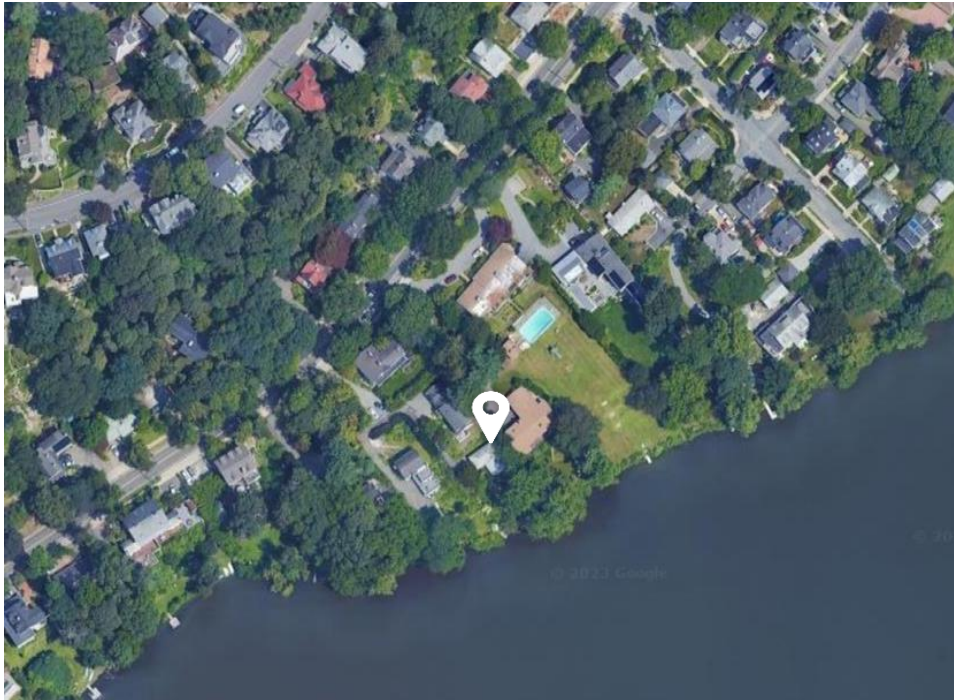
The subject property is located on an interior lot that abuts Spy Pond along the rear property line. The property is approximately 200 feet from the nearest public way, which is Pleasant Street. Homes in the vicinity include a range of architectural styles, typically Colonial, Old Style, and Cape-style as well as some Ranch and contemporary-style homes to the east of Pleasant St. The addition is designed to complement the scale and style of adjacent homes in the neighborhood. The proposed design includes a flat roof that reduces the impact of the increased mass of the addition.¹ Overall, this proposal would not detrimentally impact the neighborhood character of the district or adjoining districts, nor will it be detrimental to the health, morals, or welfare of the neighbors of the property.

The property is within the Pleasant St. Historic District and the proposed project has been issued certificates of appropriateness by the Arlington Historic District Commission for exterior changes.

Criterion #7: Detrimental Excess in Particular Use

There would not be any detrimental excesses.

Below are aerial and street-based photos of the current building:



¹ Residential Design Guidelines, Principles A-1, A-2, B-1, B-3 and C-1
<https://www.arlingtonma.gov/home/showpublisheddocument?id=54518>



Summary of Analysis:

The Department of Planning and Community Development (DPCD) maintains that this proposal is consistent with the Special Permit criteria in Section 3.3.3, A through G, of the Zoning Bylaw.

Related Dockets:

- #3709: 49 Valentine Rd – Applicant sought a special permit to create a large addition of 882 square feet to their single family home for additional living space. Approved 8/30/22.
- #3699: 68 Brantwood Rd – Applicant sought a special permit to create a large addition of 2,028 square feet to their single-family home citing a desire to update and modernize their childhood home for their family. Approved 6/14/22.
- #3688: 44 Edmund Rd – Applicant sought a special permit to create a large addition of 776 square feet to their single-family home to accommodate a growing family. Approved 5/24/22.

Project:

Spy Pond Cottage

212 Pleasant Street
Arlington , MA 02476

ISSUE DATE: January 06, 2023
For Zoning Review

Owners:

Nellie Aikenhead &
Mark Halliday
54 Brantwood Rd.
Arlington, MA 02476

Architect:

EvB Design
Edrick vanBeuzekom, AIA
1310 Broadway, Suite 200
Somerville, MA 02144
Tel: 617-623-2222

Structural Engineer

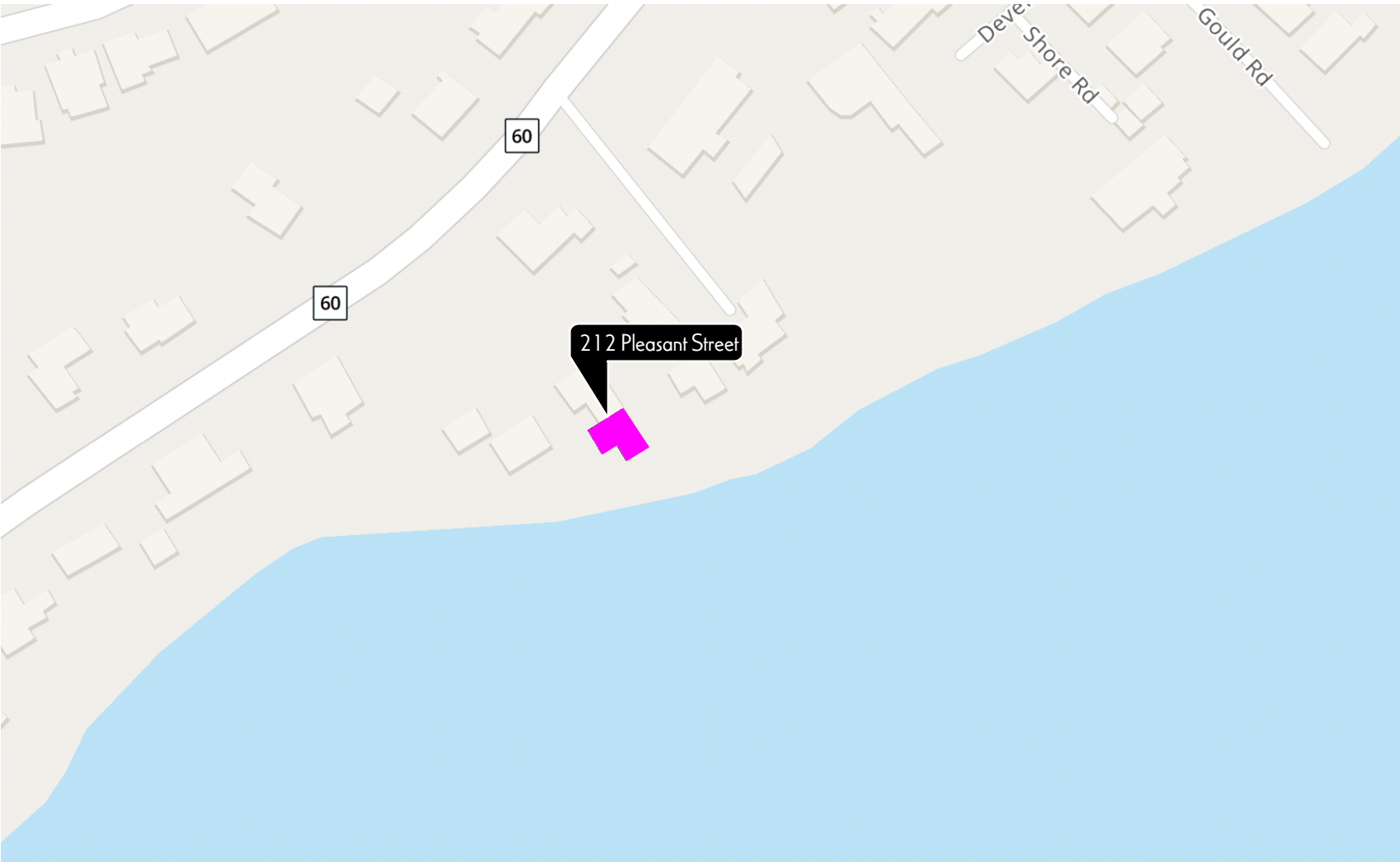
CJ Associates, LLC
Chris Jayavendra, PE., SE.
P.O. Box 13
Westborough, MA 01581
Tel: 617-869-2273
email: cjassociatesma@gmail.com

List Of Drawings:

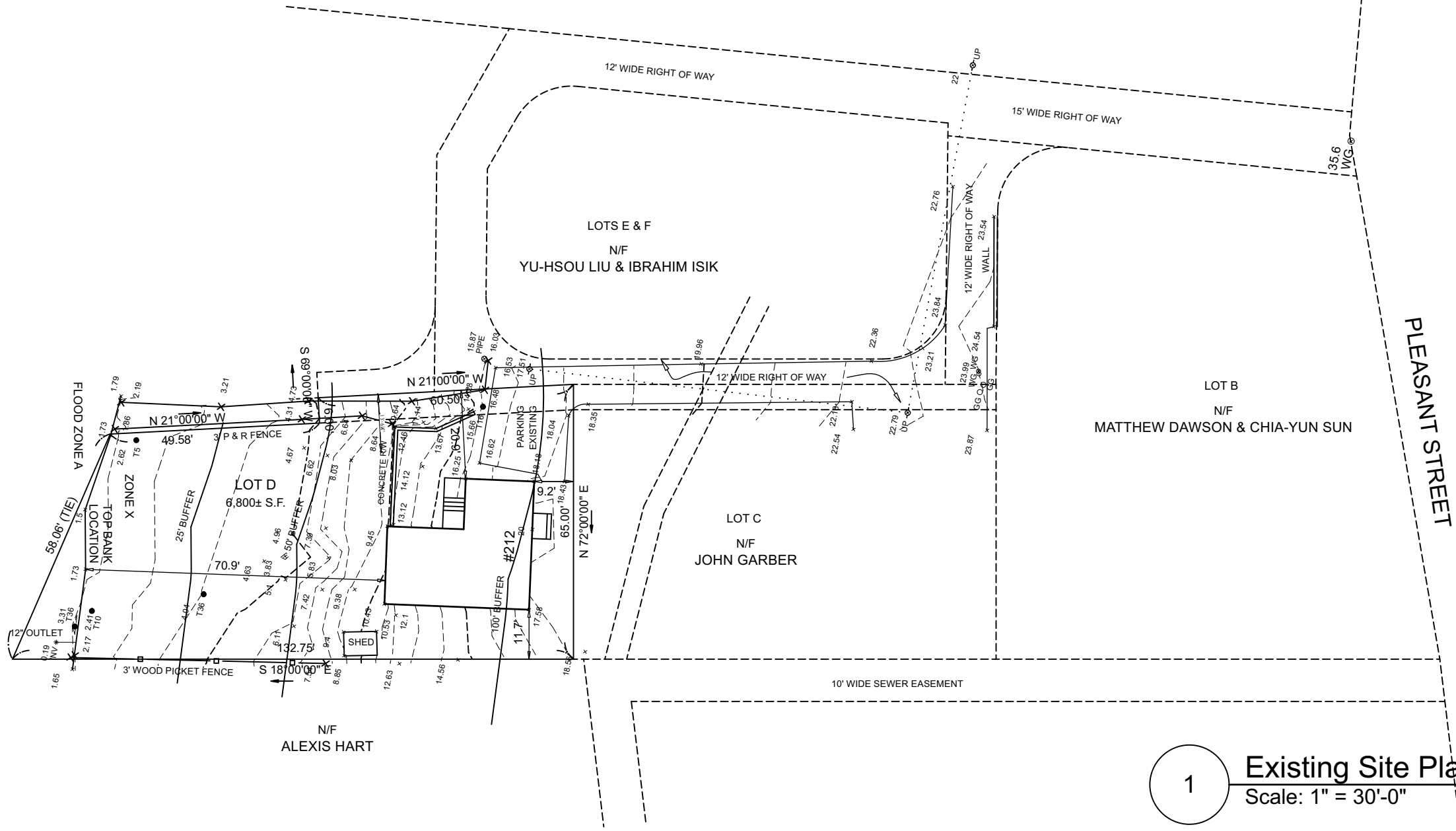
- Cover Sheet
- C1.0 Existing Site Plan
- C1.1 Proposed Site Plan
- S-1 Foundation & Details
- S-2 First Floor Framing
- S-3 2nd Floor Framing Plan
- S-4 Notes & Details
- S-5 Typical Details
- A1.0 Proposed Basement Plan
- A1.1 Proposed 1st Floor Plan
- A1.2 Proposed 2nd Floor Plan
- A1.3 Proposed Roof Plan

- A2.1 Proposed North Elevation
- A2.2 Proposed West Elevation
- A2.3 Proposed South Elevation
- A2.4 Proposed East Elevation
- A2.5 Proposed Doors & Windows Schedule
- A3.1 Proposed Section
- A3.2 Proposed Section
- A3.3 Proposed Section
- X1.0 Existing Basement Plan
- X1.1 Existing 1st Floor Plan
- X1.2 Existing Roof Plan
- X2.1 Existing Exterior Elevations
- X2.2 Existing Exterior Elevations
- X2.3 Existing Exterior Elevations
- X2.4 Existing Exterior Elevations
- X3.1 Existing Sections
- X3.2 Existing Sections

SITE PLAN



SPY POND



1 Existing Site Plan
Scale: 1" = 30'-0"

AVERAGE GRADE
(16.25+18.18)/2= 17.22
(18.18+17.58)/2= 17.88
(17.58+10.43)/2= 14.0
(10.43+9.45)/2= 9.94
(13.12+16.25)/2= 14.69
(17.22+17.88+14.0+9.94+14.69)/5 = 14.75
(17.22+17.88+14.0+9.94+14.69)/5 = 14.75
BASEMENT CEILING = 19
AVERAGE GRADE = 14.75

NOTE: UP = UTILITY POLE

Drawing Based on:

CONSERVATION PLAN
IN
ARLINGTON, MA
(MIDDLESEX COUNTY)

PREPARED FOR: MARK HALLIDAY
SCALE: 1"= 20' DATE: JANUARY 12, 2022

0

20

40

60

80

ft

ROBER SURVEY
1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
6645PP1.DWG

Spy Pond Cottage
212 Pleasant St
Arlington, MA 02476

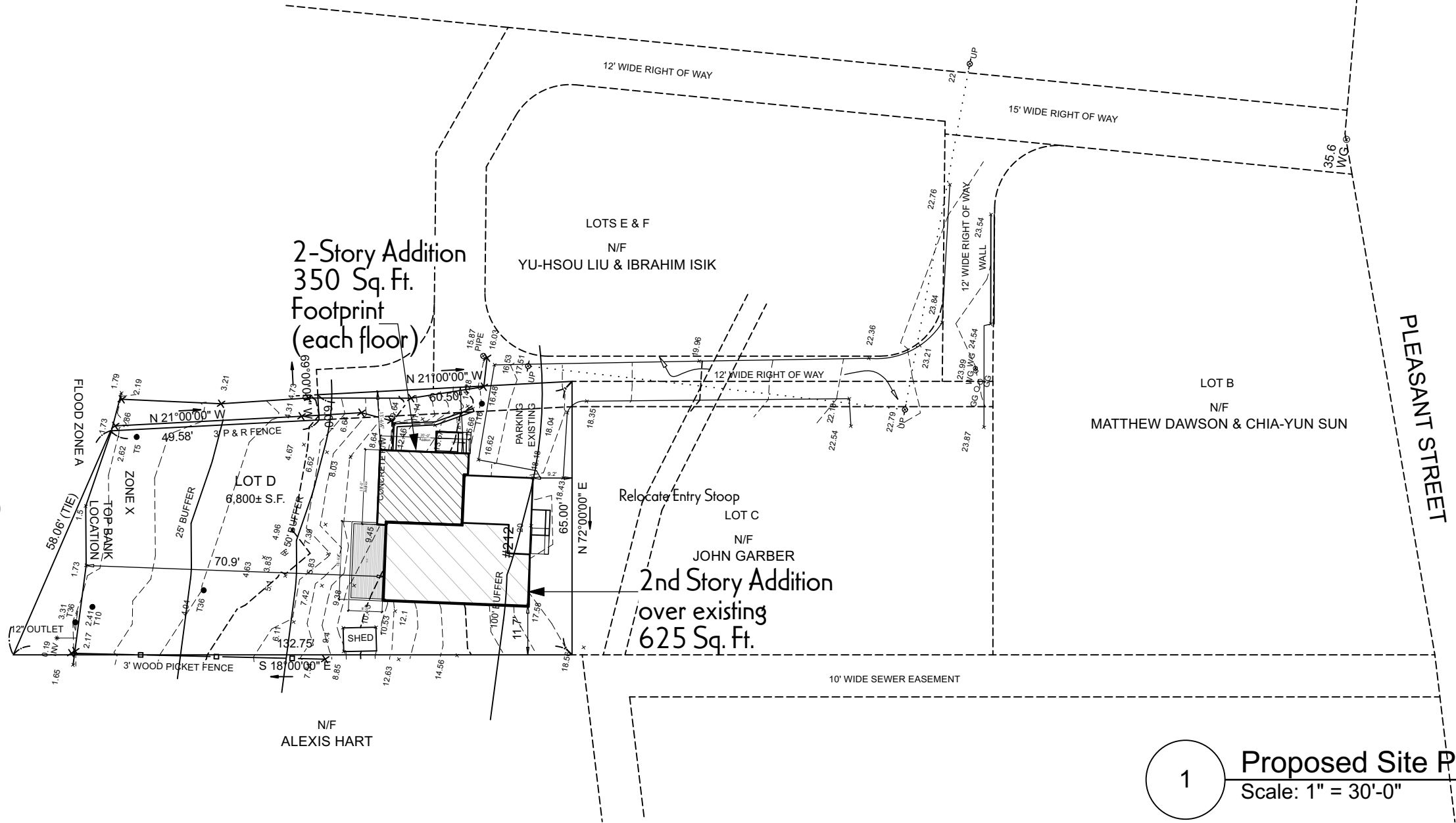
EvB Design
1310 Broadway, Suite 200
Somerville, MA 02144

Date:

01/06/23

C1.0

SPY POND



1 Proposed Site Plan
Scale: 1" = 30'-0"

AVERAGE GRADE
(17.58+18.18)/2= 17.88
(18.18+12.96)/2= 15.57
(12.96+10.43)/2= 11.695
(10.43+17.58)/2= 14.005
(17.88+15.57+11.695+14.005)/4 = 14.79
BASEMENT CEILING = 19'
PROPOSED AVERAGE GRADE = 14.79'

FAR 2669/6800 = .39

NOTE: UP = UTILITY POLE

Drawing Based on:

CONSERVATION PLAN
IN
ARLINGTON, MA
(MIDDLESEX COUNTY)

PREPARED FOR: MARK HALLIDAY
SCALE: 1"= 20' DATE: JANUARY 12, 2022

0 20 40 60 80 ft

ROBER SURVEY
1072A MASSACHUSETTS AVENUE
ARLINGTON, MA 02476
(781) 648-5533
6645PP1.DWG

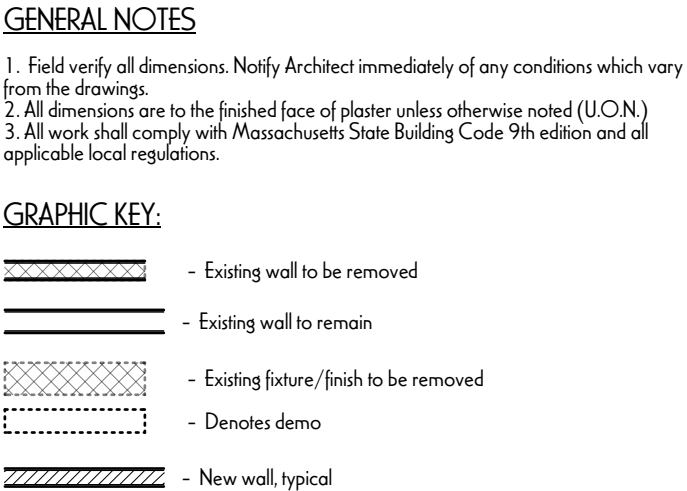
Spy Pond Cottage
212 Pleasant St
Arlington, MA 02476

EvB Design
1310 Broadway, Suite 200
Somerville, MA 02144

Date:

01/06/23

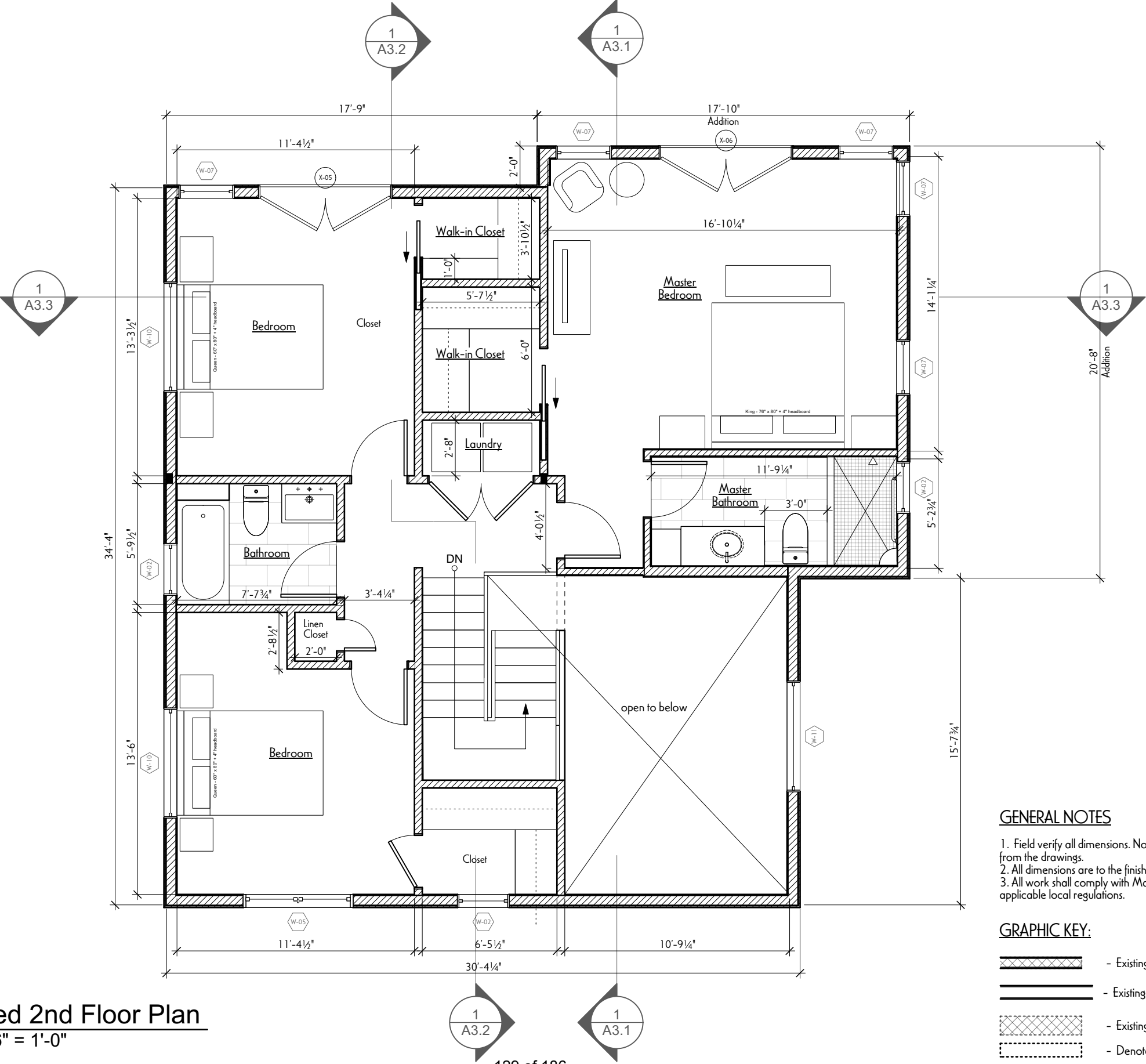
C1.1



128 of 186

1

Proposed 2nd Floor Plan
Scale: 3/16" = 1'-0"



GENERAL NOTES

1. Field verify all dimensions. Notify Architect immediately of any conditions which vary from the drawings.
2. All dimensions are to the finished face of plaster unless otherwise noted (U.O.N.)
3. All work shall comply with Massachusetts State Building Code 9th edition and all applicable local regulations.

GRAPHIC KEY:

- Existing wall to be removed
- Existing wall to remain
- Existing fixture/finish to be removed
- Denotes demo
- New wall, typical

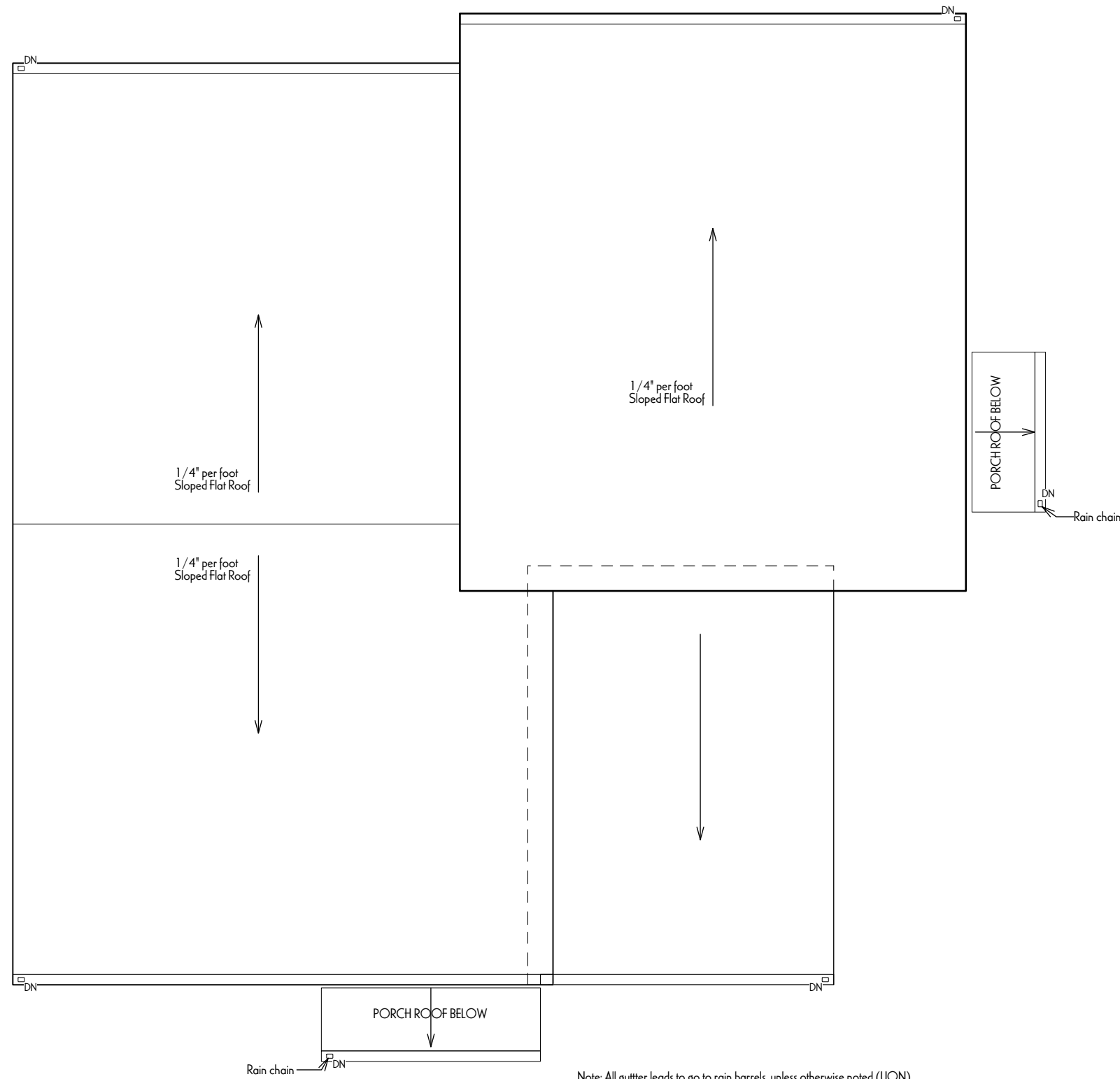
Spy Pond Cottage
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Arlington, MA 02476

EvB Design
1310 Broadway, Suite 200
Somerville, MA 02144



Date: 01/06/23

A1.2



Note: All gutter leads to go to rain barrels, unless otherwise noted (UON)

1

Proposed Roof Plan
Scale: 3/16" = 1'-0"



NORTH ARROW

Date:

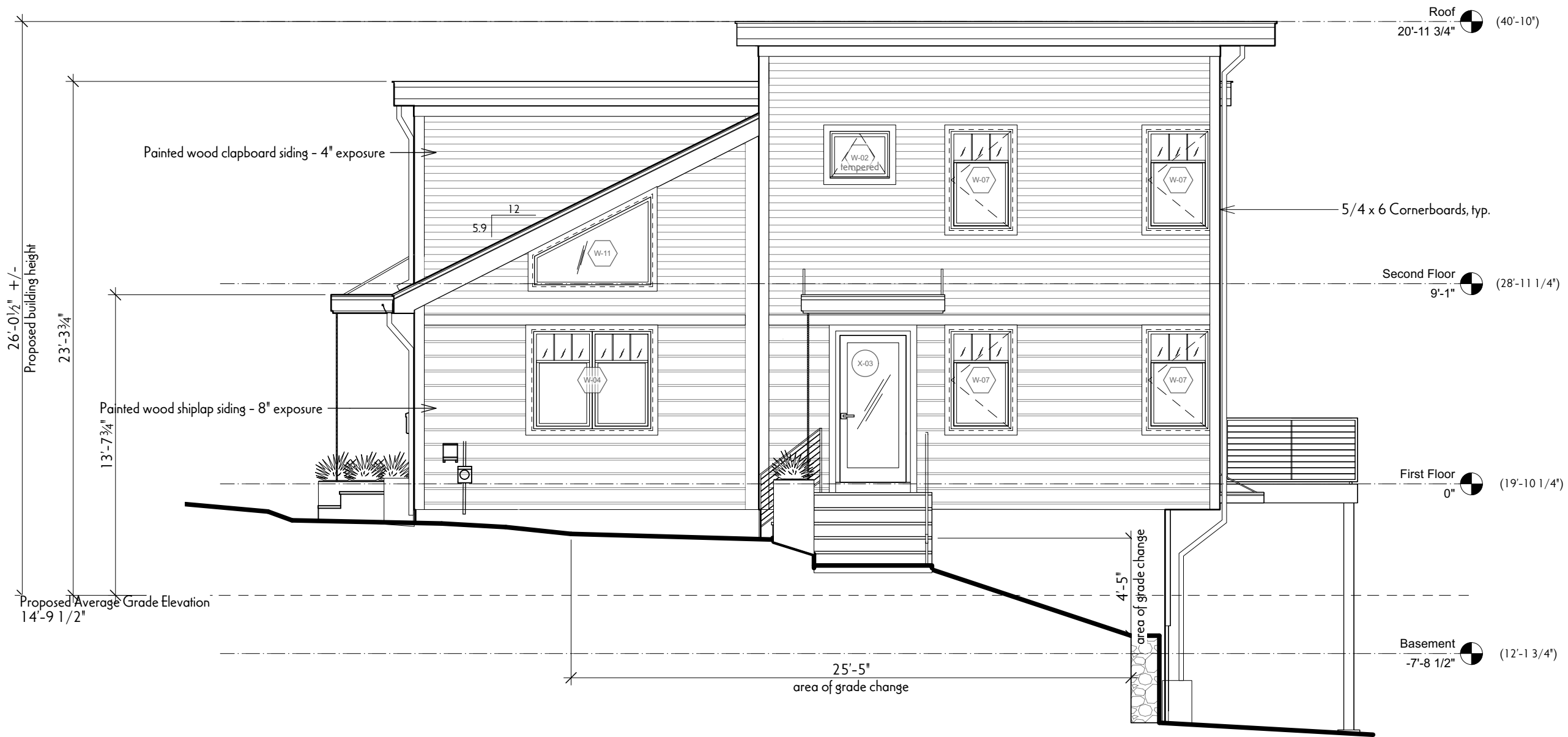
01/06/23

A1.3



1

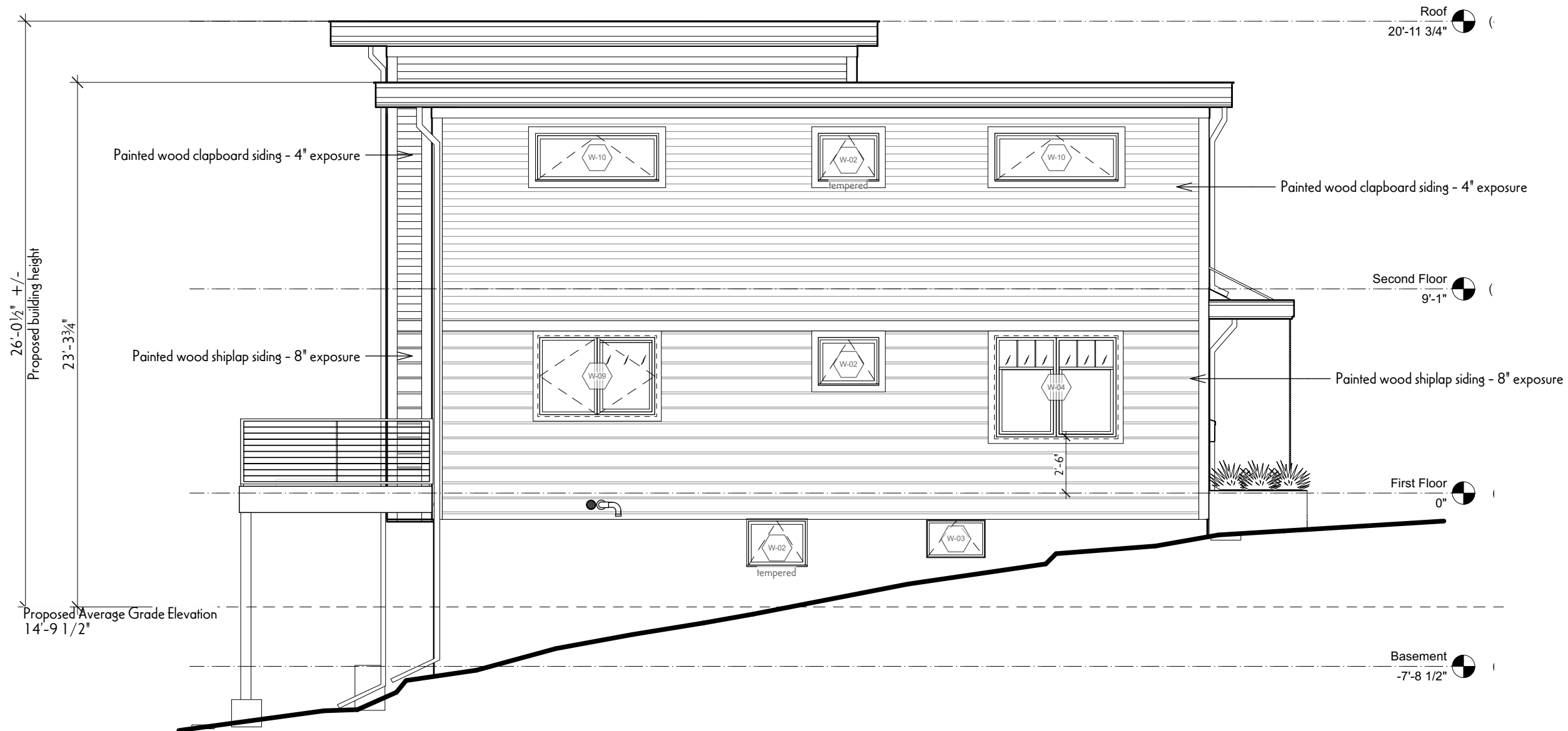
Proposed North Elevation (Pleasant Street)
Scale: 3/16" = 1'-0"



1 **Proposed West Elevation**
Scale: 3/16" = 1'-0"



1 Proposed South Elevation
Scale: 3/16" = 1'-0"



1 **Proposed East Elevation**
Scale: 3/16" = 1'-0"

Window Schedule

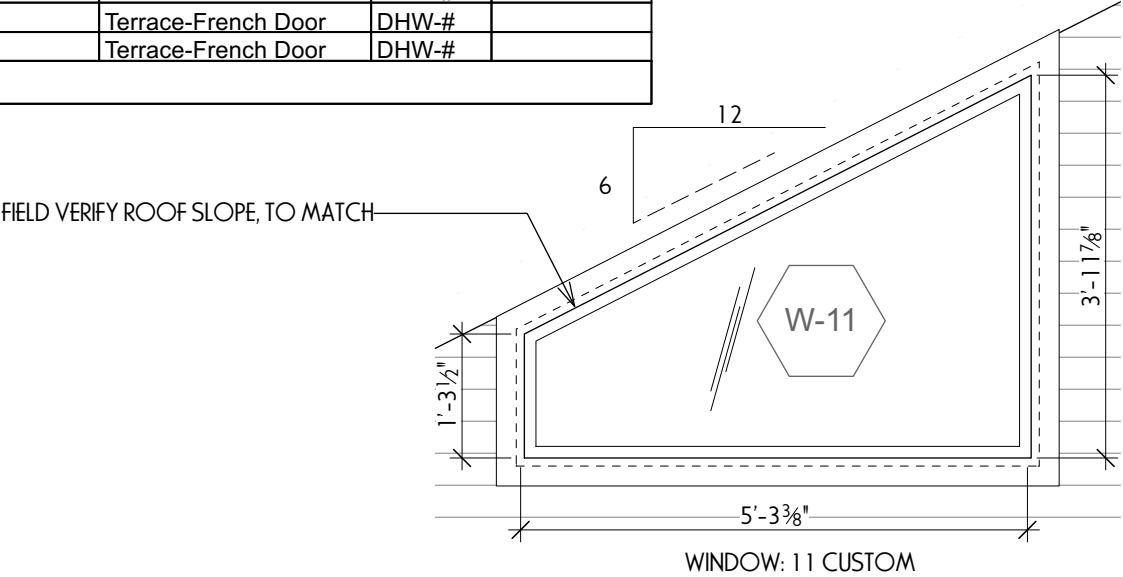
Count			Window Schedule		Openings						
Mark			O.A. Width	O.A. Height	Egress Win	RO Width	RO Height	Mfr	Model No.	Accessories	Comments
W-	02	4	2'5 1/2"	1'11 5/8"	N			Loewen	AW1-7506		(3) tempered see elev for loc.
W-	04	4	5'3 5/8"	4'8 1/4"	N			Loewen	SH2-2624		2 Wide Single Hung
W-	05	1	5'3"	4'7 1/8"	N			Loewen	CA2-1614		
W-	06	1	2'7 7/8"	4'8 1/4"	N/A			Loewen	SH1-2624		Single Hung
W-	07	9	2'7 1/2"	4'7 1/8"	YES			Loewen	CA1-0814		6 hinged on left, 3 hinged on right, as viewed from exterior
W-	08	1	5'10 7/8"	4'7 1/8"	N/A			Loewen	CA2-1814		
W-	09	1	5'3"	3'5 1/4"	N/A			Loewen	CA2-1611		
W-	10	2	5'3"	1'11 5/8"	N			Loewen	AW1-1606		
W-	11	1	5'3 3/8"	3'11 7/8"	N			Loewen	Custom		Custom Trapezoid - See Elevations

NOTES: G.C. to Field Verify All Dimensions, All operable sash to include screens, Windows to be Loewen, color TBD — Provide color chip,

Exterior Door Schedule

Count			Nominal Size			Door Style				Door Frame		Openings		Door Data			
Mark			Width	Height	Thickness	Configuration		Slab Style	Glaz. Style	Jamb Thick	Jamb Depth	RO Width	RO Height	Mfr	Model No.	HW Set	Comments
X-	02	1	11'9 1/4"	7'4 3/8"	1 3/4"	Slider	OXXO	Glass	None	3/4"	6"			Loewen	44 Sliding Patio Door	DHW-#	Bi-Parting
X-	03	1	3'0"	7'0"	1 3/4"	Swing Simple	N/A	Panel	None	3/4"	7 1/2"			TBD		DHW-#	
X-	04	1	3'0"	7'0"	1 3/4"	Swing Simple	N/A	Panel	None	3/4"	6"			TBD		DHW-#	
X-	05	1	6'3"	7'2"	1 1/2"	Swing Bi-part	N/A	Glass	None	3/4"	7 1/2"			Loewen	Terrace-French Door	DHW-#	
X-	06	1	6'3"	7'2"	1 1/2"	Swing Bi-part	N/A	Glass	None	3/4"	7 1/2"			Loewen	Terrace-French Door	DHW-#	

NOTES: G.C. to Field Verify All Dimensions, All glass to be tempered, painted TBD - Provide color chip



WINDOW: 11 CUSTOM

EvB Design

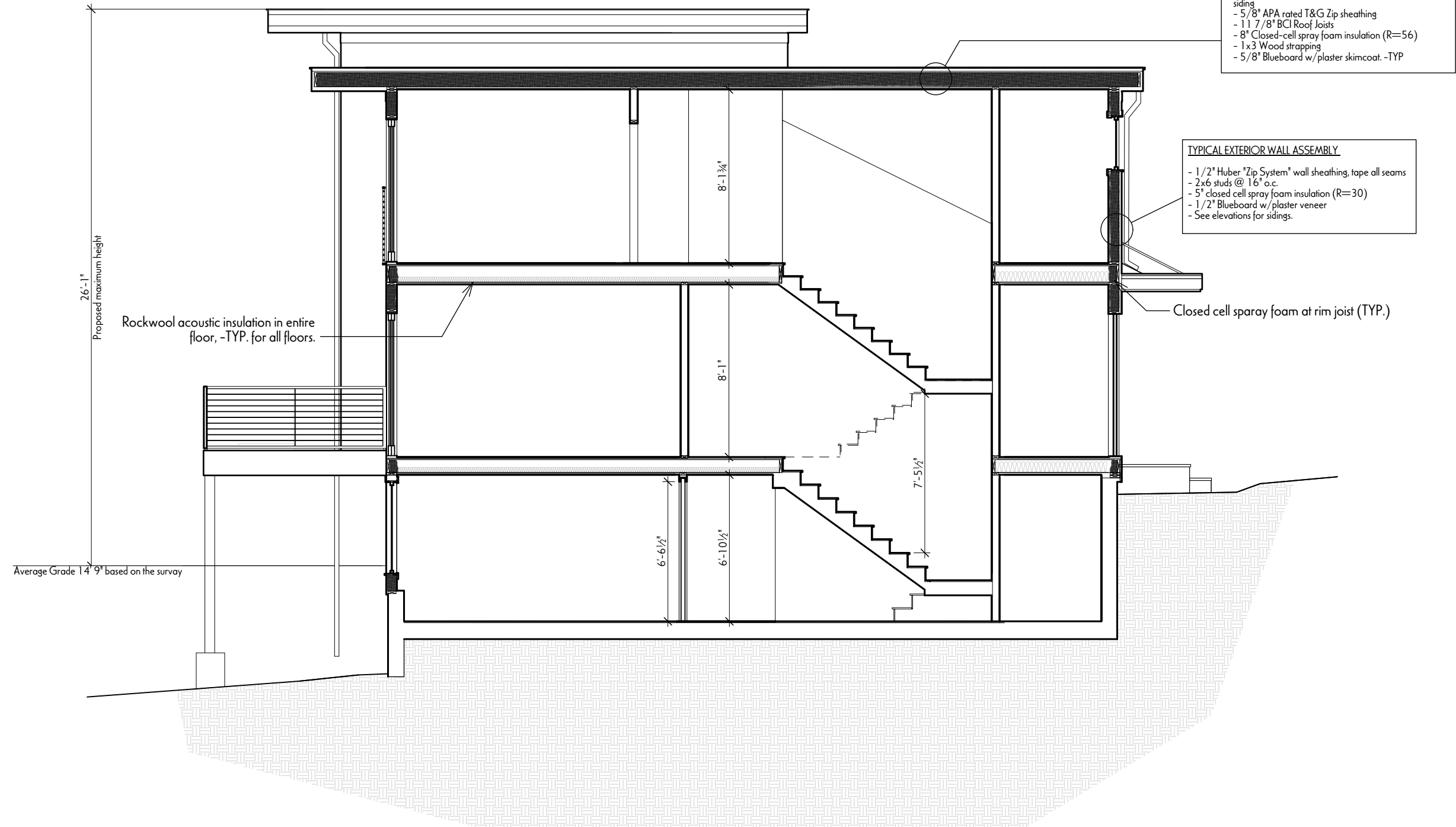
1310 Broadway, Suite 200
Somerville, MA 02144

212 Pleasant St
Arlington, MA 02476

135 of 186

A2.5

Date: 01/06/23



1 Proposed Section
Scale: 3/16" = 1'-0"

Note:
-Insulate all exterior walls, Floors, bathroom and bedroom walls.

1310 Broadway, Suite 200
Somerville, MA 02144

EvB Design

212 Pleasant St
Arlington, MA 02476

Spy Pond Cottage

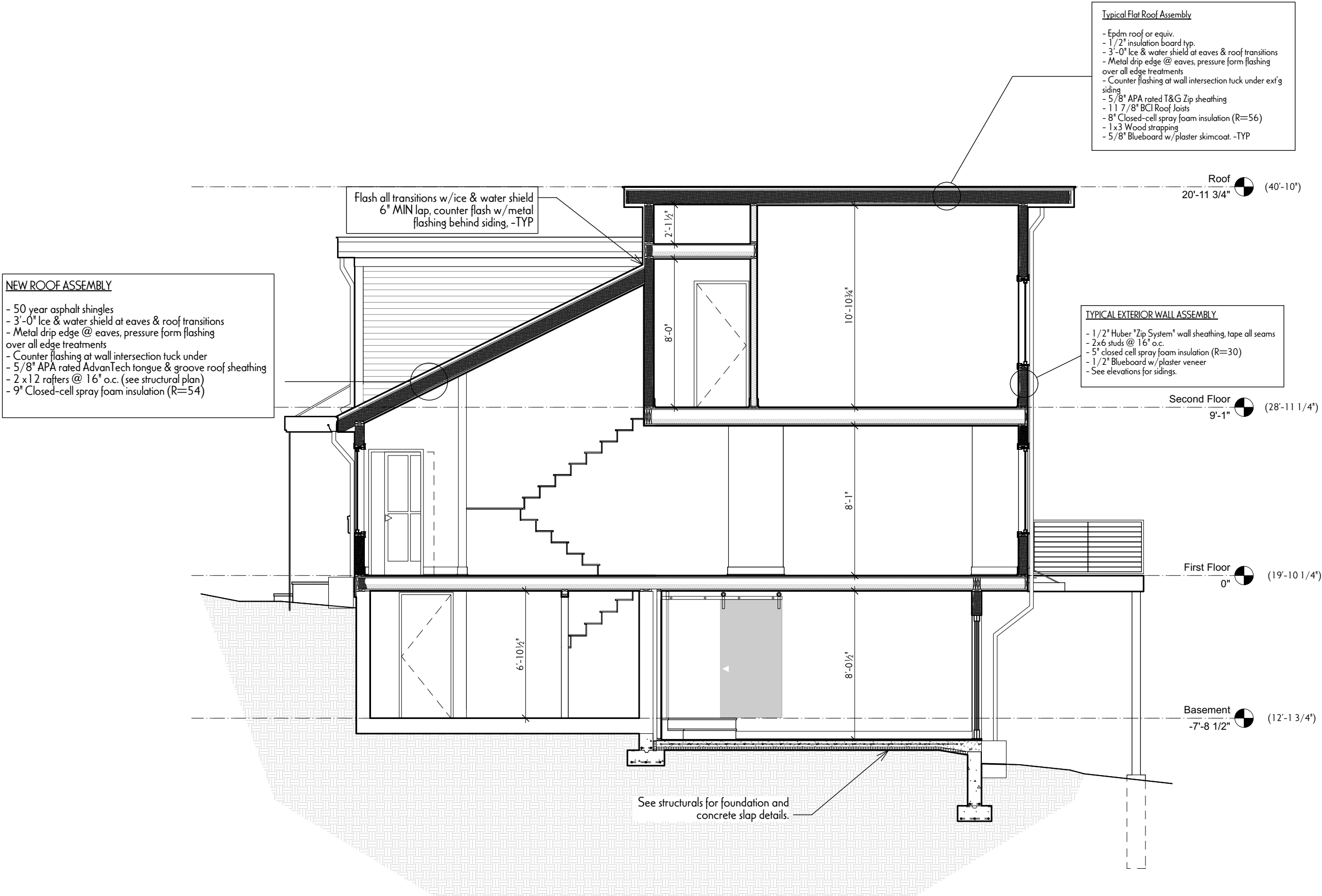
Date: 01/06/23

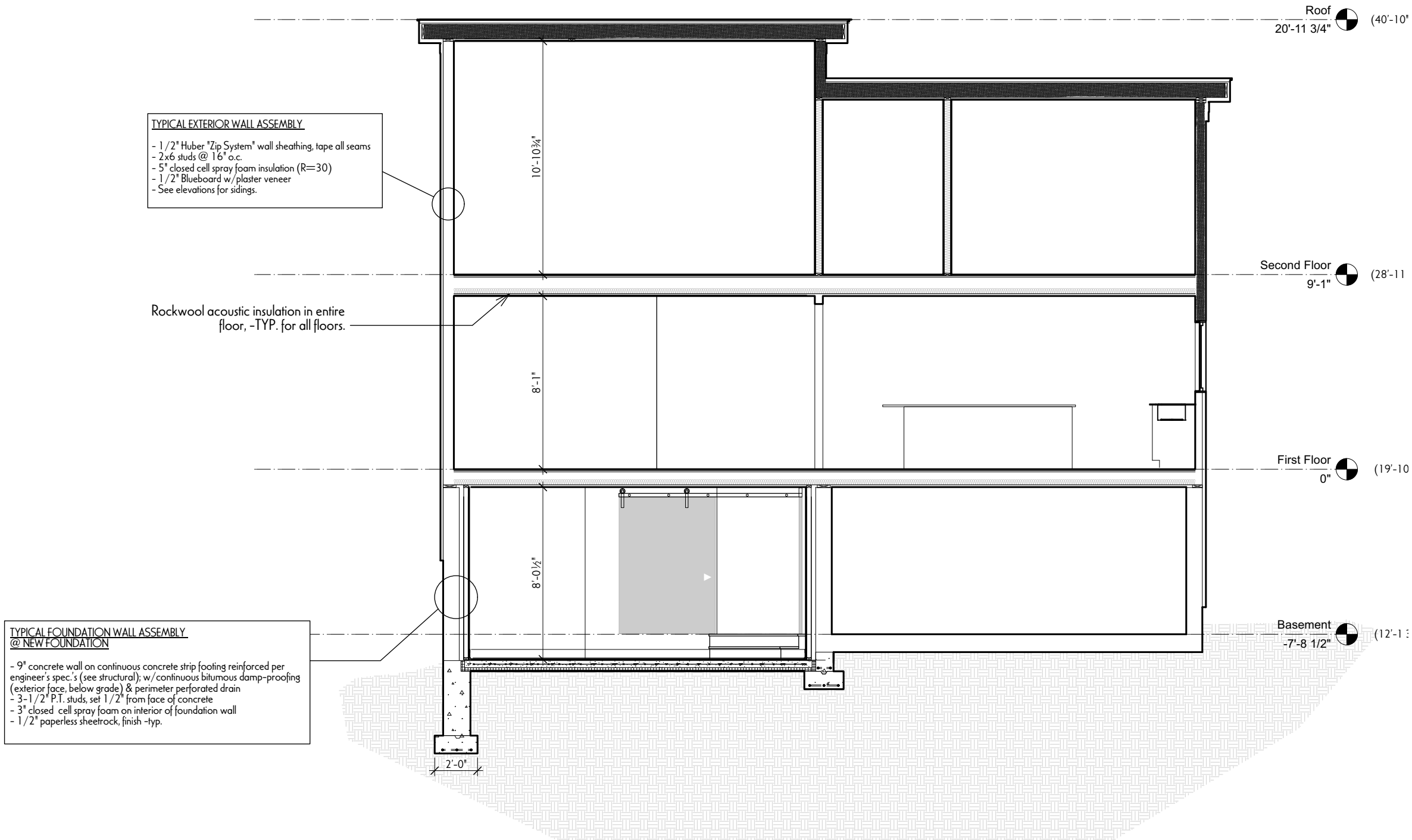
A3.1

1

Proposed Section

Scale: 3/16" = 1'-0"





1 Proposed Section
Scale: 3/16" = 1'-0"

Spy Pond Cottage
212 Pleasant St
Arlington, MA 02476

EvB Design
1310 Broadway, Suite 200
Somerville, MA 02144

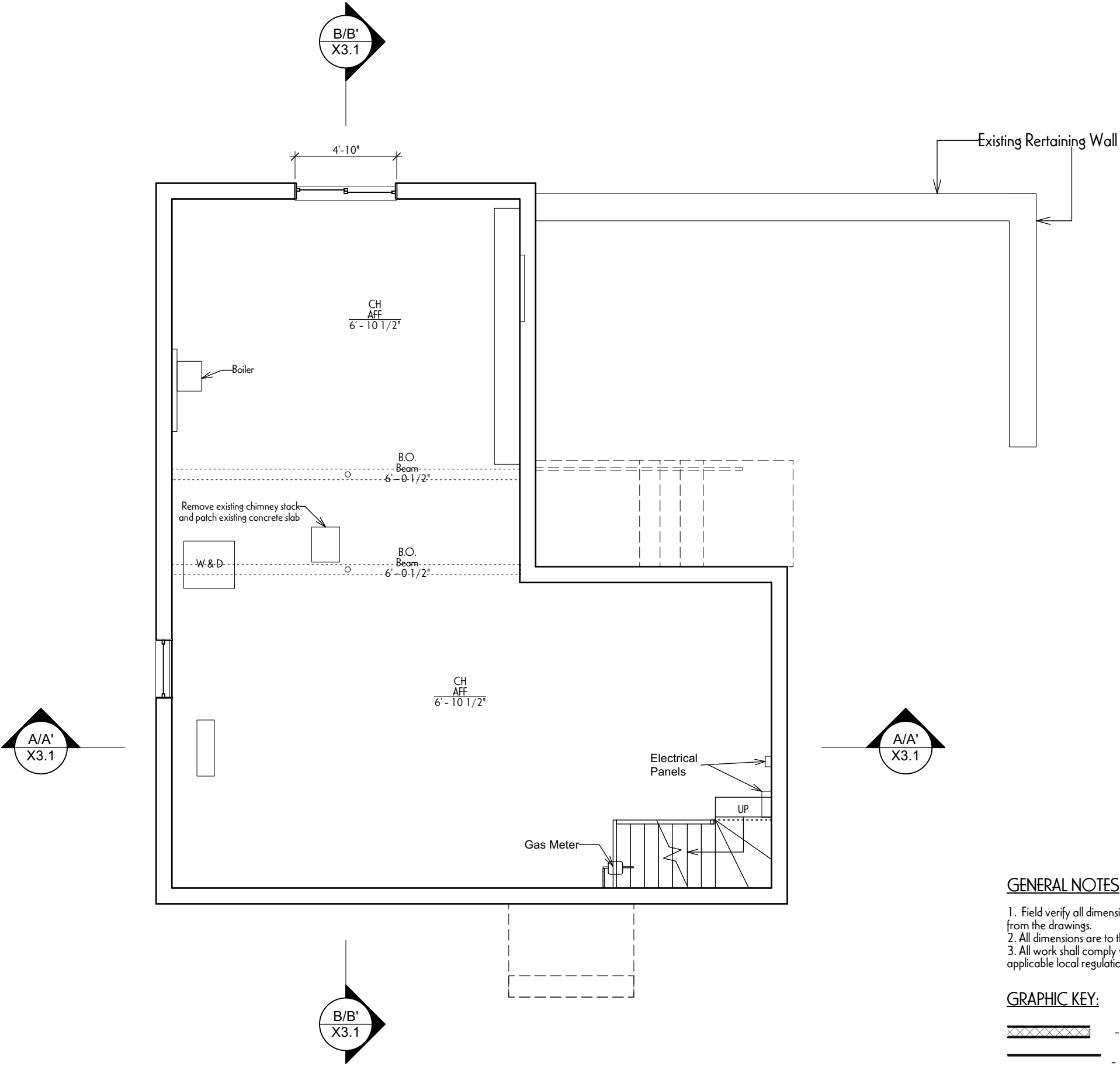
Date: 01/06/23

A3.3

1

Existing Basement Floor Plan

Scale: 3/16" = 1'-0"



GENERAL NOTES

- 1. Field verify all dimensions. Notify Architect immediately of any conditions which vary from the drawings.
- 2. All dimensions are to the finished face of plaster unless otherwise noted (U.O.N.)
- 3. All work shall comply with Massachusetts State Building Code 9th edition and all applicable local regulations.

GRAPHIC KEY:

- Existing wall to be removed
- Existing wall to remain
- Existing fixture/finish to be removed
- Denotes demo
- New wall, typical

1310 Broadway, Suite 200
Somerville, MA 02144

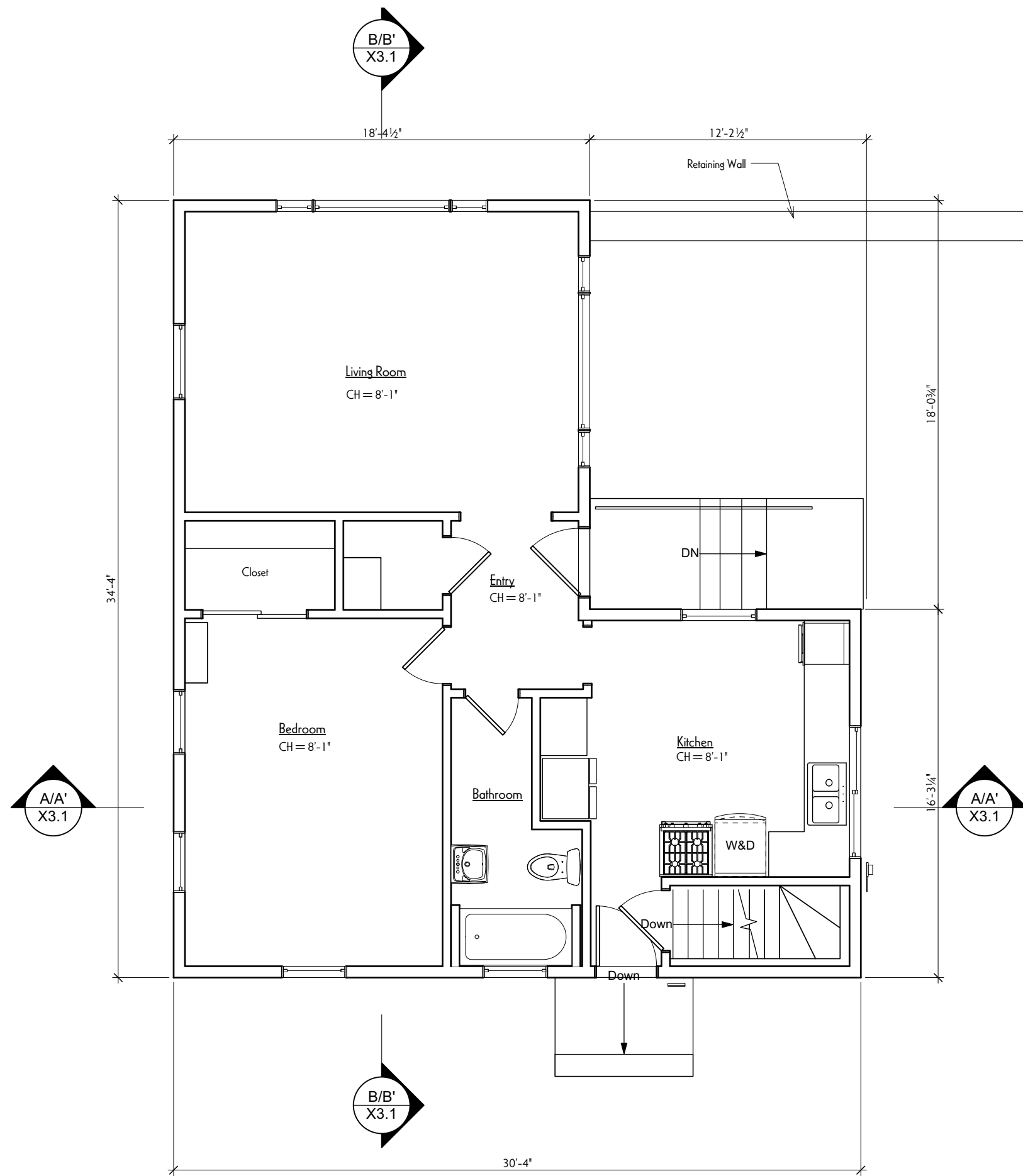
EvB Design

212 Pleasant St
Arlington, MA 02476

Spy Pond Cottage

Date: 01/06/23

X1.0



GENERAL NOTES

1. Field verify all dimensions. Notify Architect immediately of any conditions which vary from the drawings.
2. All dimensions are to the finished face of plaster unless otherwise noted (U.O.N.)
3. All work shall comply with Massachusetts State Building Code 9th edition and all applicable local regulations.

GRAPHIC KEY:

- Existing wall to be removed
- Existing wall to remain
- Existing fixture/finish to be removed
- Denotes demo
- New wall, typical

140 of 186 **Existing 1st Floor Plan**
Scale: 3/16" = 1'-0"

1310 Broadway, Suite 200
Somerville, MA 02144

EvB Design

EvB

←

NORTH ARROW

Date: 01/06/23

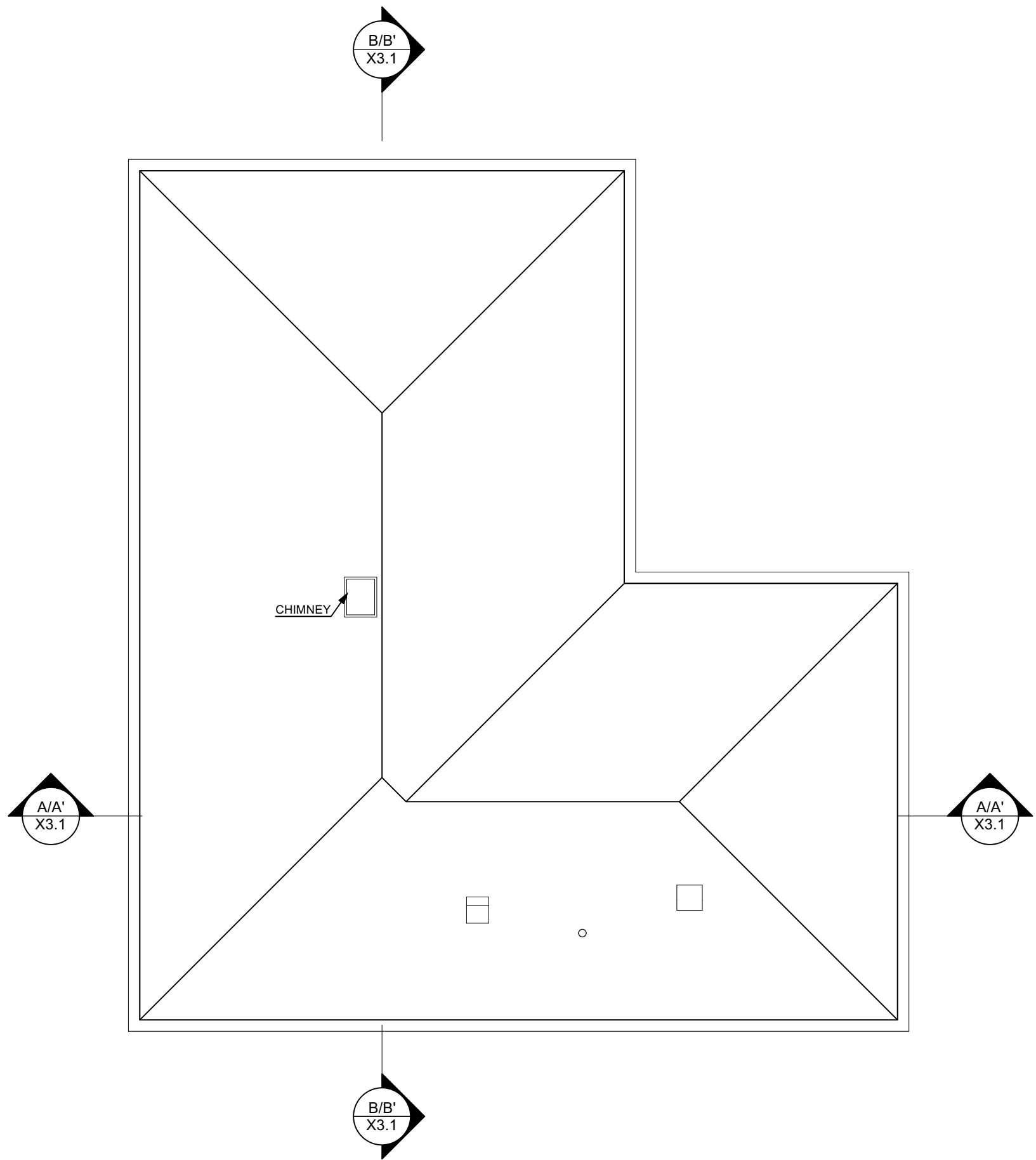
X1.1

Spy Pond Cottage
212 Pleasant St
Arlington, MA 02476

1

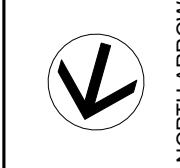
Existing Roof Plan

Scale: 3/16" = 1'-0"



Spy Pond Cottage
212 Pleasant St
Arlington, MA 02476

EvB Design
1310 Broadway, Suite 200
Somerville, MA 02144



Date:
01/06/23

X1.2



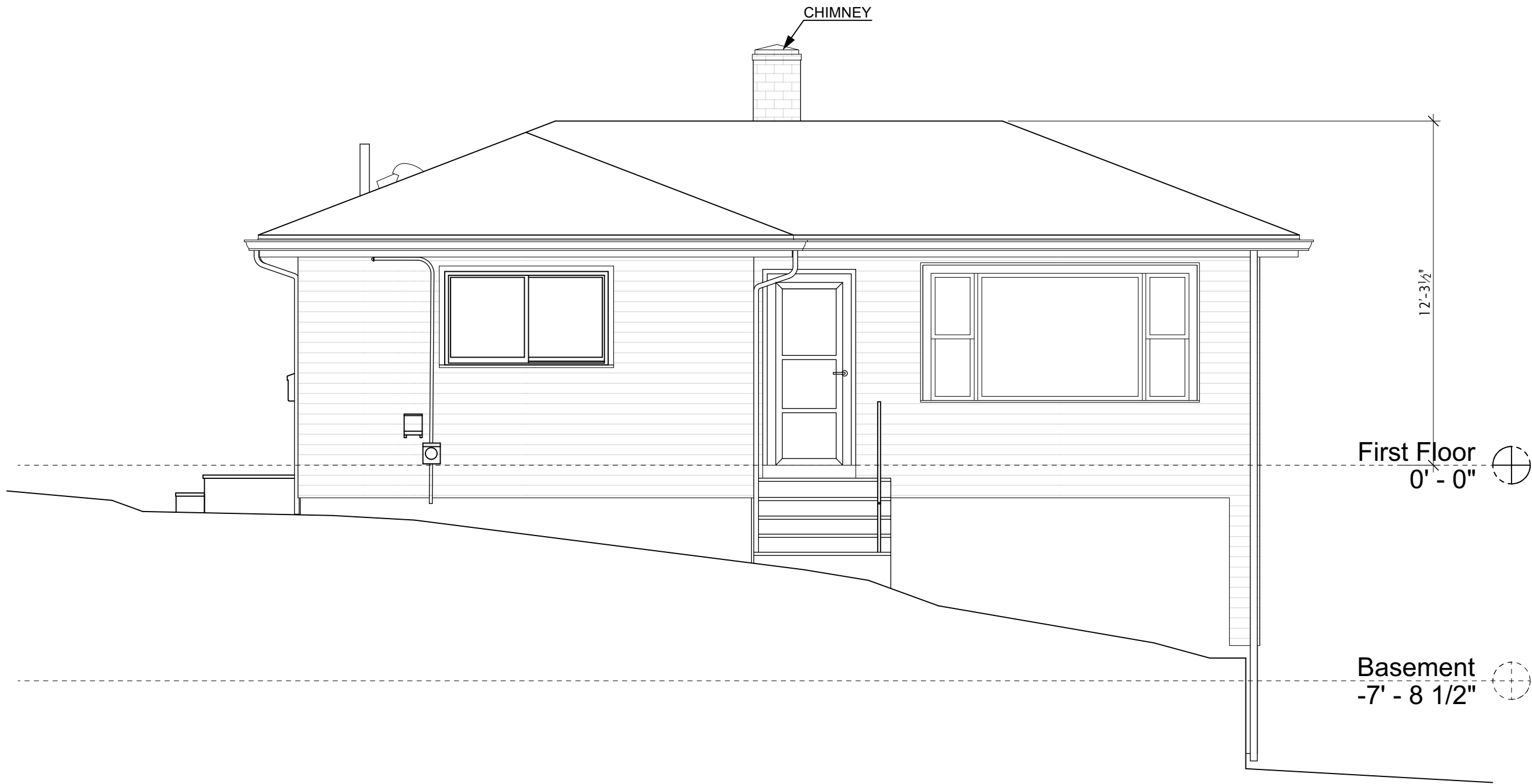
1 North
Scale: 1/4" = 1'-0"

Spy Pond Cottage
212 Pleasant St
Arlington, MA 02476

EvB Design **EvB**
1310 Broadway, Suite 200
Somerville, MA 02144

Date:
01/06/23

X2.1



2 West
Scale: 1/4" = 1'-0"

Spy Pond Cottage
212 Pleasant St
Arlington, MA 02476

EvB Design **EvB**
1310 Broadway, Suite 200
Somerville, MA 02144

Date: 01/06/23

X2.2



1

South

Scale: 1/4" = 1'-0"

Spy Pond Cottage
212 Pleasant St
Arlington, MA 02476

EvB Design
1310 Broadway, Suite 200
Somerville, MA 02144

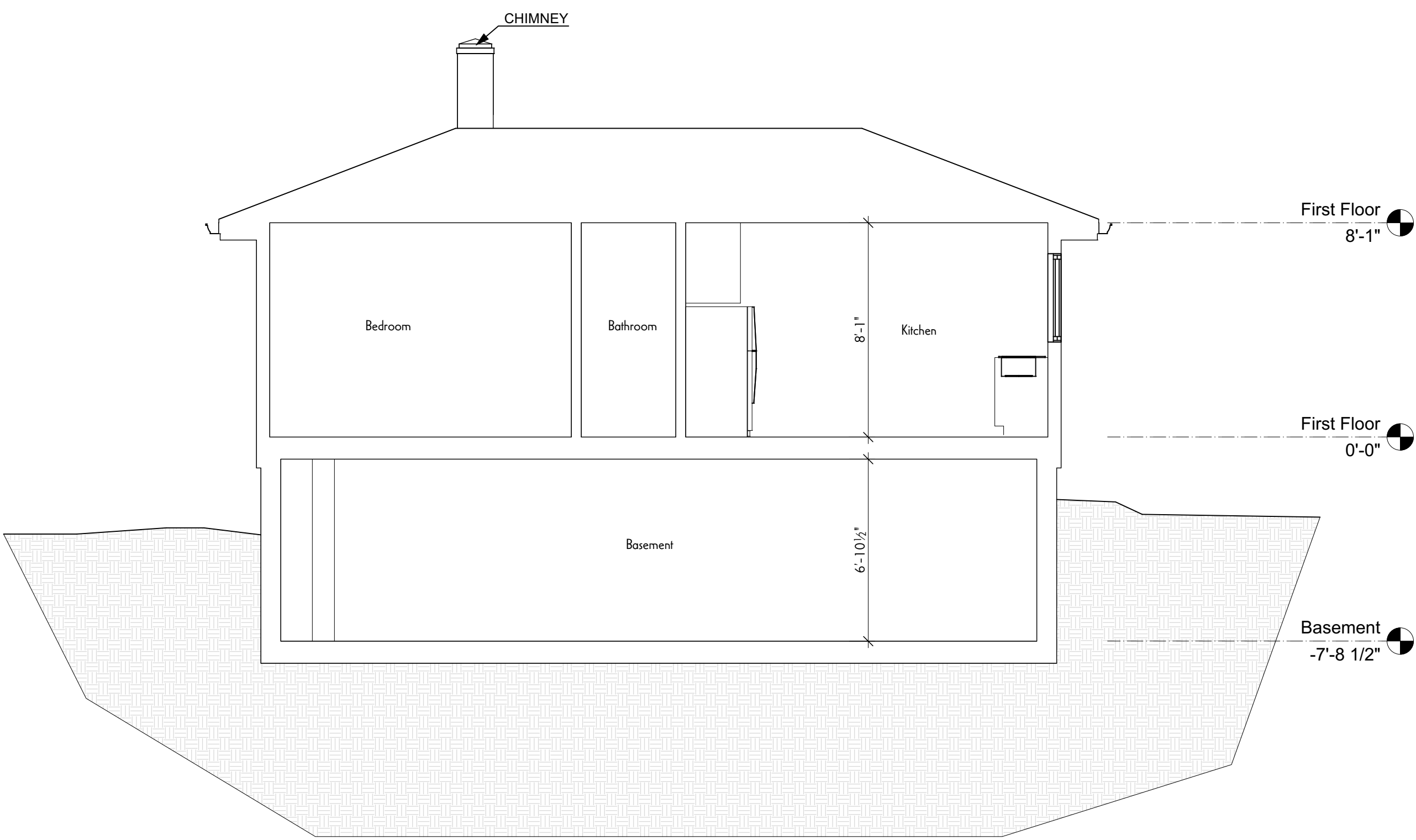
Date:
01/06/23

X2.3



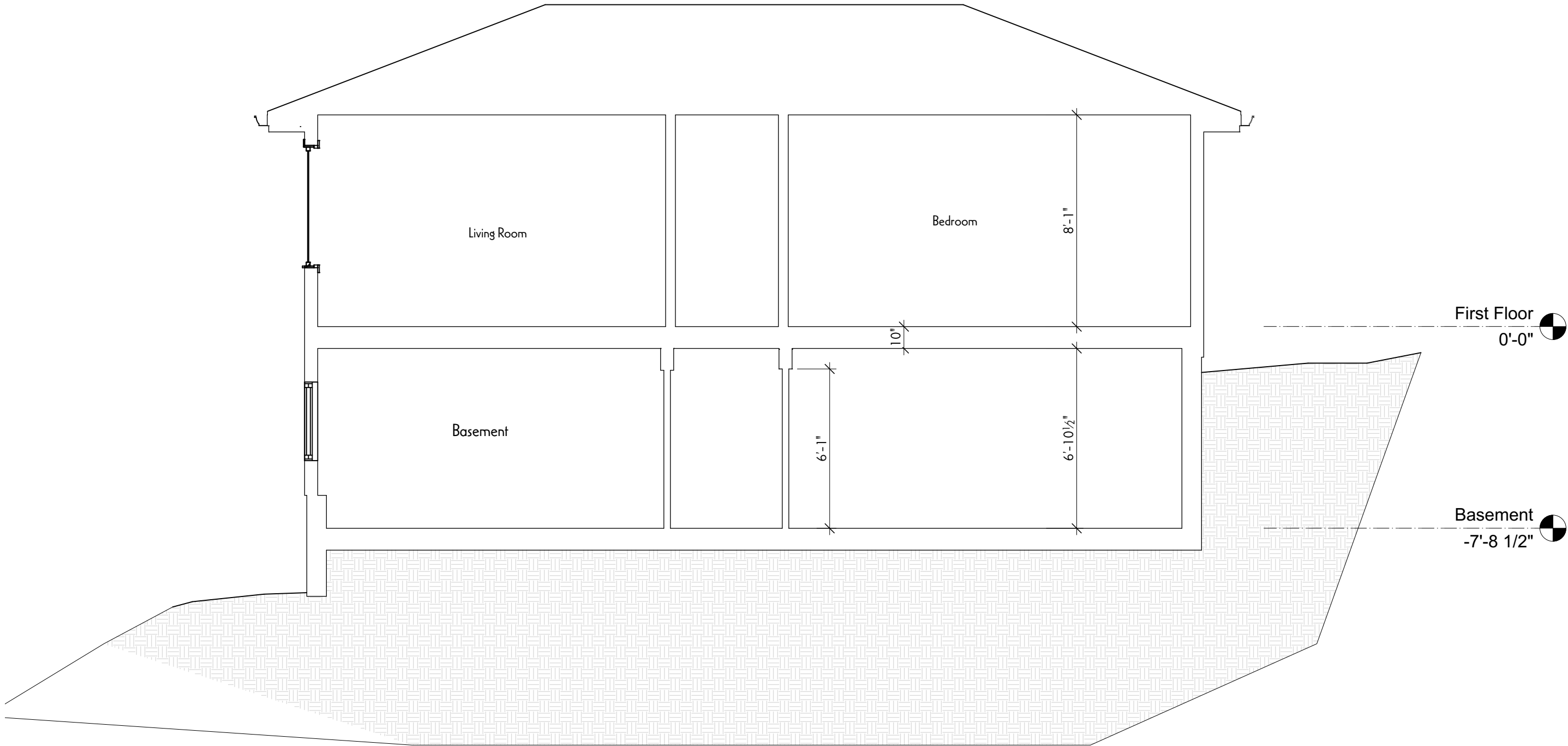
2 East
Scale: 1/4" = 1'-0"

Spy Pond Cottage 212 Pleasant St Arlington, MA 02476		EvB Design EvB 1310 Broadway, Suite 200 Somerville, MA 02144		X2.4	
Date:		01/06/23			



1 Existing Building Section E-W
Scale: 1/4" = 1'-0"

Spy Pond Cottage 212 Pleasant St Arlington, MA 02476		EvB Design EvB 1310 Broadway, Suite 200 Somerville, MA 02144		X3.1	
Date:	01/06/23				



First Floor
0'-0"

Basement
-7'-8 1/2"

2 Existing Building Section N-S
Scale: 1/4" = 1'-0"

Spy Pond Cottage 212 Pleasant St Arlington, MA 02476		EvB Design 1310 Broadway, Suite 200 Somerville, MA 02144		X3.2	
Date:		01/06/23			



1 Proposed East Elevation
Scale: 1/4" = 1'-0"

2 East
Scale: 1/4" = 1'-0"

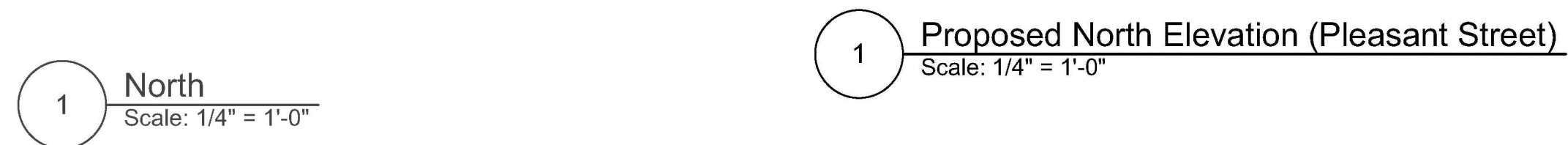
Project:
Spy Pond Cottage
212 Pleasant St.
Arlington, MA 02476

Owners:
**Nellie Aikenhead &
Mark Halliday**
54 Brantwood Rd.
Arlington, MA 02476

EvB Design
1310 Broadway, Suite 200
Somerville, MA 02144
phone: (617) 623 2222

Project no.:	212-PI
Drawn by:	EvB, PM, AF, MG
Date:	05/11/22
Checked by:	
Revisions:	07/13/22
	07/28/22

A2.4



A2.1

TO: Arlington ZBA

FROM: Nellie Aikenhead and Mark Halliday

DATE: 11/20/2023

RE: 212 Pleasant Street - Information Requested at 10/24/2023 ZBA Hearing

We have assembled the information requested at our October 24, 2023 hearing, including the following:

1. Views of the front and right sides of the house, which are the sides closest to the neighbors, that superimpose the existing house on top of the proposed. These views also illustrate where the rooflines could be, if the house was constructed with the allowable 2 1/2 stories and 35' maximum height.
2. An informal rendering that shows the existing and proposed retaining walls, driveway, parking area, and steps to the pond all in one place. We have requested a more formal version of this illustration from our architect, but don't have that yet. We will provide it to the ZBA as soon as it is received.

Please note:

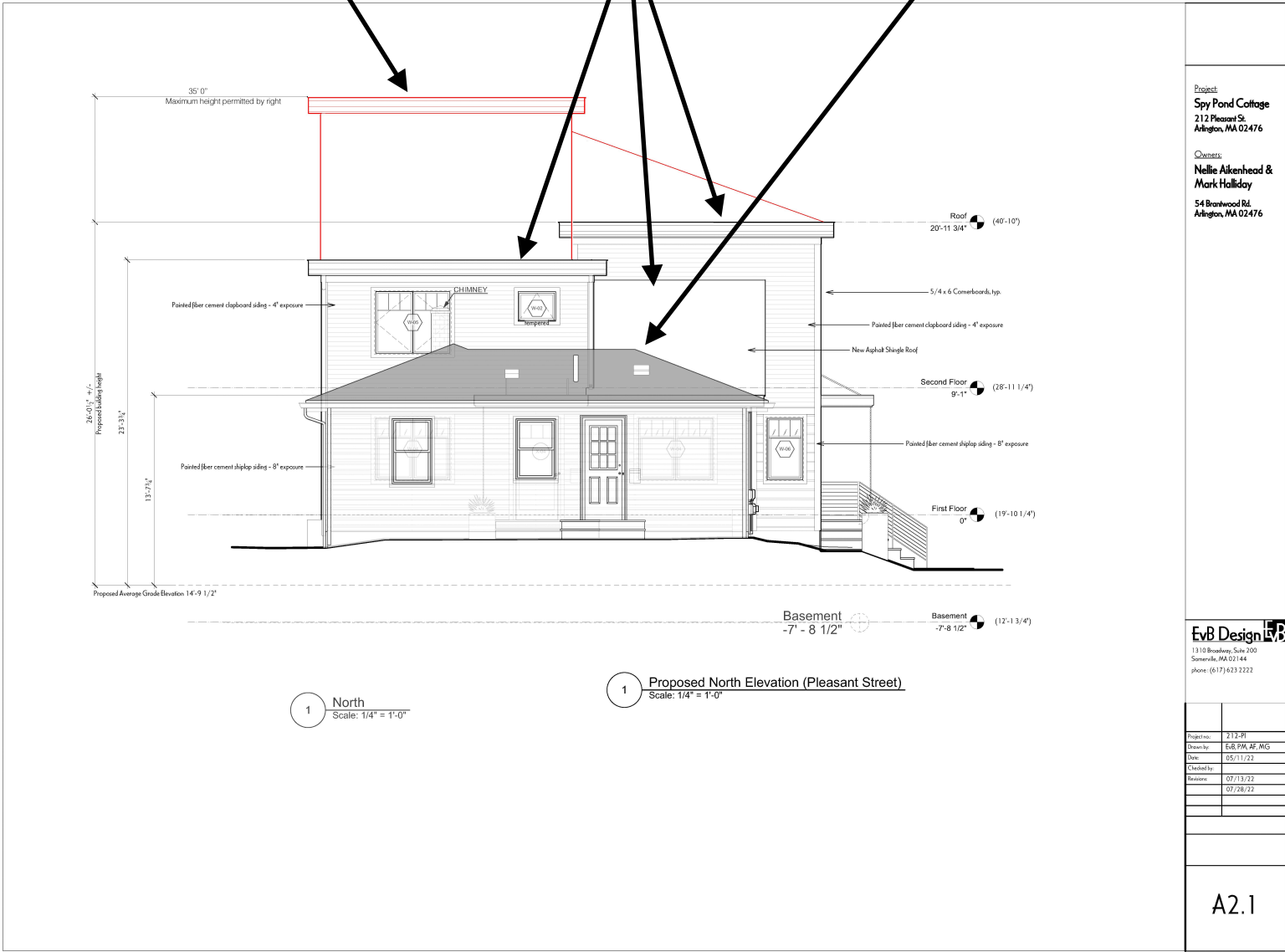
- To address the neighbors concerns, we have separated the "driving area", which is subject to easements and partly on land owned by 218 Pleasant, from the "parking area", which is entirely located on our land. This changes the figures previously discussed, but does not change the concept.
- The current "parking area" is 20' x 15'. The proposed is approximately 22' x 17', an increase of 74 sq ft. The proposed increase in the "driveway area" is approximately 5' x 5' or 25 sq ft. The increases are located entirely within our property boundaries. Here is a video showing the area is sufficient in size, even as is, for parking two cars and for turning around and driving out forward <https://tinyurl.com/Parking-video-212P>

We would like to reiterate that everything that has been presented at our various ZBA hearings, including the specific details about the pervious parking area, patio, steps to pond, retaining wall and the size, scale, massing and materials of the house, was publicly reviewed, vetted, and approved by the Conservation Commission and the Historic District Commission in public zoom meetings in May and June 2022. The appeal periods are long over. We have not introduced any new details or made any changes since that time. In addition, the HDC Certificate of Appropriateness and the ConsCom Order of Conditions (recorded at the Registry of Deeds) and Additional Conditions OBLIGATE us to complete what we have proposed. The details are not optional, and there is very little leeway for change, without filing new applications. For your convenience, we are including the approved specifications in this document.

Maximum Allowable Height

Proposed Rooflines
approved by HDC
June 2023

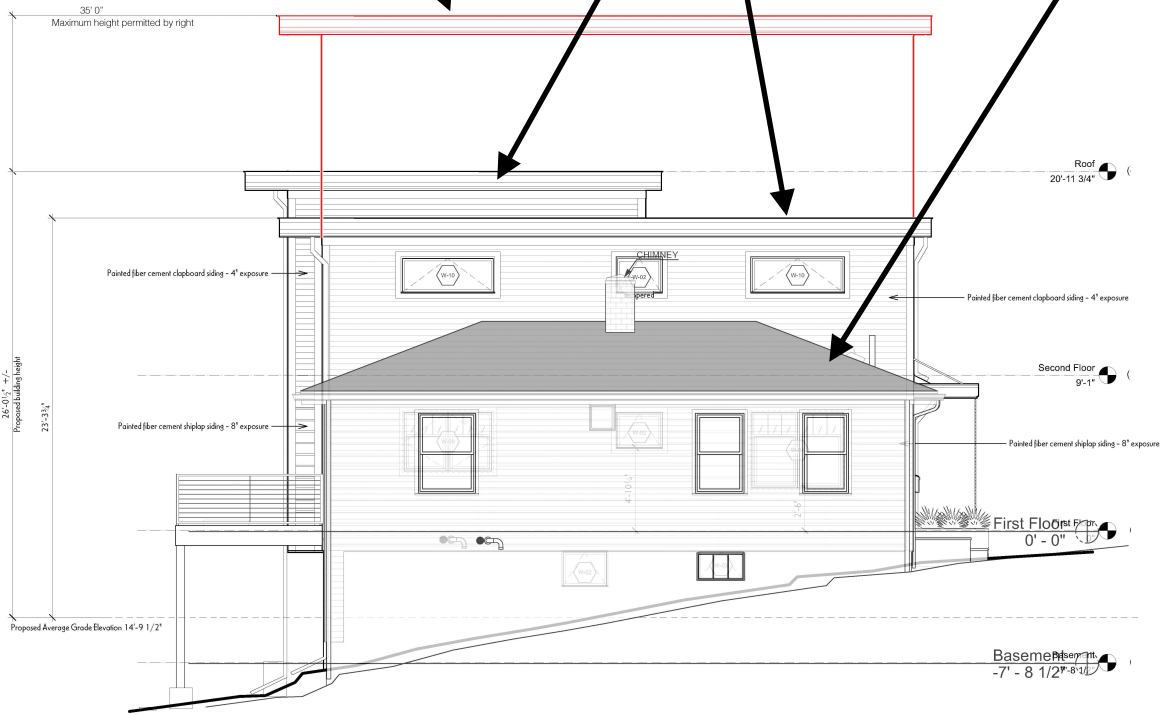
Existing Roofline



Maximum Allowable Height

Proposed Rooflines
approved by HDC
June 2023

Existing Roofline



1 Proposed East Elevation
Scale: 1/4" = 1'-0"

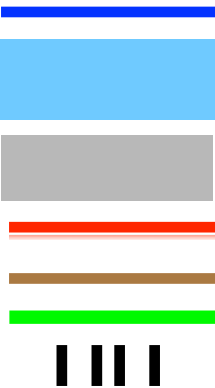
2 East
Scale: 1/4" = 1'-0"

Project
Spy Pond Cottage
212 Pleasant St.
Arlington, MA 02476
Owners
Nellie Aikenhead &
Mark Halliday
54 Branford Rd.
Arlington, MA 02476

EvB Design
1310 Broadway, Suite 200
Somerville, MA 02144
phone: (617) 623 2222

Project no:	212-P
Drawn by:	ESB, JAH, JF, MGS
Date:	05/11/22
Checked by:	
Revisions:	07/13/22
	07/28/22

A2.4



Proposed Steps to Pond (Approximate)

DRIVEWAY AND PARKING REQUIREMENTS
APPROVED BY CONSERVATION COMMISSION AND ENGINEERING DEPARTMENT
in June 2022

APPROVED.... remove the asphalt and upgrade the parking to a level pervious surface that captures rain and runoff, and to slightly enlarge the area to 22' x 29'. An important added benefit of the improved parking would be to capture the runoff from the final 96' long leg of the driveway, which, though it is both off site and outside the 100' setback, currently flows across the parking area and toward Spy Pond. The ROW is 12' wide; the paved portion is approximately 8' wide.

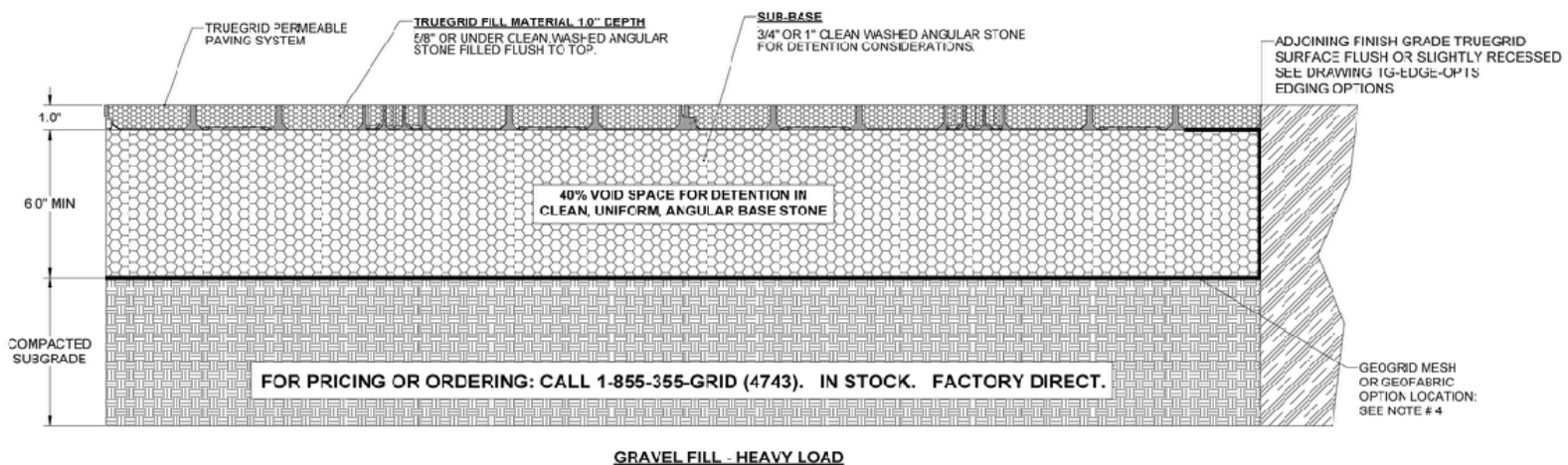


Parking Area - on site

APPROVED... a system of interlocking permeable ProLite pavers manufactured by TrueGrid, resting on a 6" bed of gravel. The gravel will create a water catchment space and the pavers would hold gravel in place and create a strong permeable surface suitable for parking (add'l details on following page).

APPROVED

- Geogrid mesh at base of catchment area
- 6" deep bed of 3/4" - 1" clean angular stone with 40% void space
- 1" TrueGrid permeable paver system filled with 5/8" or smaller clean angular stone flush with top
- Construction
 - Dig 6" to compacted sub grade, lay down permeable membrane, fill with gravel, place Pro light pavers on top holding surfaces together, compress with roller or vehicle.
- Water Capture:
 - 22' x 29' x 6" = 319 cubic feet
 - Filled with gravel, with 40% void, volume of water fill = 128 cubic feet or 958 gallons.



ADDITIONAL REQUIREMENTS IMPOSED BY THE TOWN ENGINEER

Now embedded in our Conservation Commission approved requirements



Wayne Chouinard <WChouinard@town.arlington.ma.us>
to David, Bill, me ▾

Wed, Jun 15, 2022, 3:52 PM ☆ ↶ ⋮

Hello Nellie,

I reviewed the sketches you sent regarding the proposed porous pavement at 212 Pleasant Street.

Generally this approach is acceptable and would suffice, however I have a few comments:

1. When excavating, the contractor should dig to identify the bottom of any fill, top soil or subsoil to ensure hydrologic connectivity to the underlying soil. I enclosed a description of the Soil type for that location and highlighted a line from the Soil Profile data indicating the layers of soil. Ideally, the contractor should excavate to a depth where they can confirm they are in the C-layer of soil. This is the most permeable layer, the BW2 has a permeable texture but also consists of some fines and organic matter. It would be best to excavate until the C layer is encountered before building up with the stone.
2. I recommend 12" minimum stone. A typical 10 wheel delivery truck holds 20-22 cy, price difference should be minimal, but it would provide additional storage. If the c-layer of soil is actually at 26" then it won't really matter as you will have to fill up from the C-layer with stone. However, if the C-layer is encountered 7" then then the 6" layer of stone would be sufficient.
3. Also, I recommend providing an impervious barrier on the retaining wall side pf the porous pavement area. This will prevent water from migrating to or through the wall is it i in close proximity to the retaining wall. An impervious barrier should extend to a depth equal to the depth of the footing of the retaining wall.

Otherwise the details and calculation are acceptable.

I hope this helps.

Regards,

Wayne

Wayne A. Chouinard, PE
Town Engineer
Arlington Public Works
51 Grove Street
Office: (781) 316-3320
E-mail: wchouinard@town.arlington.ma.us

APPROVAL OF A MINOR STORMWATER MGMT PROJECT FROM THE ASSISTANT TOWN ENGINEER



Engineering Division

TOWN OF ARLINGTON DEPARTMENT OF PUBLIC WORKS

51 GROVE STREET
ARLINGTON, MA 02476

Phone: 781-316-3320
Fax: 781-316-3281

Wednesday, January 18, 2023

Nellie Aikenhead
54 Brantwood Road
Arlington, MA 02476

RE: 212 Pleasant Street – Minor Stormwater Management Permit Review - APPROVED

The Town of Arlington Engineering Division has completed the review of the Minor Stormwater Management Permit application for the construction of an addition to an existing single-family residential building and associated redevelopment of landscape features at 212 Pleasant Street. The project will include the installation of a pervious driveway to replace the existing impervious driveway. The Engineering Division has determined that the design submittal is acceptable and the permit application is **APPROVED** with the following conditions and requirements:

1. The following inspections shall be coordinated with the Engineering Division by phone at 781-316-3320 or by email at engineering@town.arlington.ma.us a minimum of 24-hours in advance of the requested inspection time:
 - a) Bottom of Excavation
 - b) System Installation Prior to Porous Surface Installation
2. Subsequent to the required inspections, the following shall be submitted to the Engineering Division in order to obtain a **Stormwater Management Certificate of Completion (SMCC)** for this Minor Permit:
 - a) **As-Built Site Plan**, stamped, signed and dated by the Applicant, Contractor, or their Designee, showing at a minimum the location of, dimensions of, and swing-ties to the installed stormwater management systems and associated observation ports, as well as all newly installed impervious areas (buildings, patios, walks, driveways, sheds, etc.) and the corresponding as-built increase in impervious area present on the site;
 - b) **Statement of Compliance**, stamped, signed and dated by the Applicant, Contractor, or their Designee, stating that the stormwater management system and impervious areas were constructed in accordance with the approved design package and meet the requirements set forth in Title V Article 15 of the Town of Arlington Bylaws.

Please note that the Town of Arlington Inspectional Services Department will require receipt of the **Stormwater Management Certificate of Completion** prior to issuing a **Certificate of Occupancy** for all applicable projects.

3. Please note that approval of the design package does not defer, discharge, or release the Owner's responsibility to construct the stormwater management system as designed, to complete ongoing maintenance of the system, to limit the extents of impervious areas to those presented in the approved package, and to ensure that additional stormwater flows are not directed to abutting properties following construction and installation.
4. **This approval is for installation of the on-site stormwater management systems only.** Additional permitting may be required for any utility work proposed to take place within the Town right-of-way.

If you should have any questions or would like to discuss any of the above comments, please feel free to contact the Arlington Engineering Division at 781-316-3320.

Thank You,

William C. Copithorne
Assistant Town Engineer

STEPS AND RETAINING WALL REQUIREMENTS APPROVED BY CONSERVATION COMMISSION in June 2022

Stairs to Pond - The existing concrete block “steps” to the pond were built with cinder blocks placed unevenly on a steep path. They do not meet code, are unstable, and they divert the water to the left side, where it is eroding the soil, undermining the retaining wall, and exposing the roots of the yew tree. The Applicants propose to address this situation by regrading and installing new steps that are largely porous.

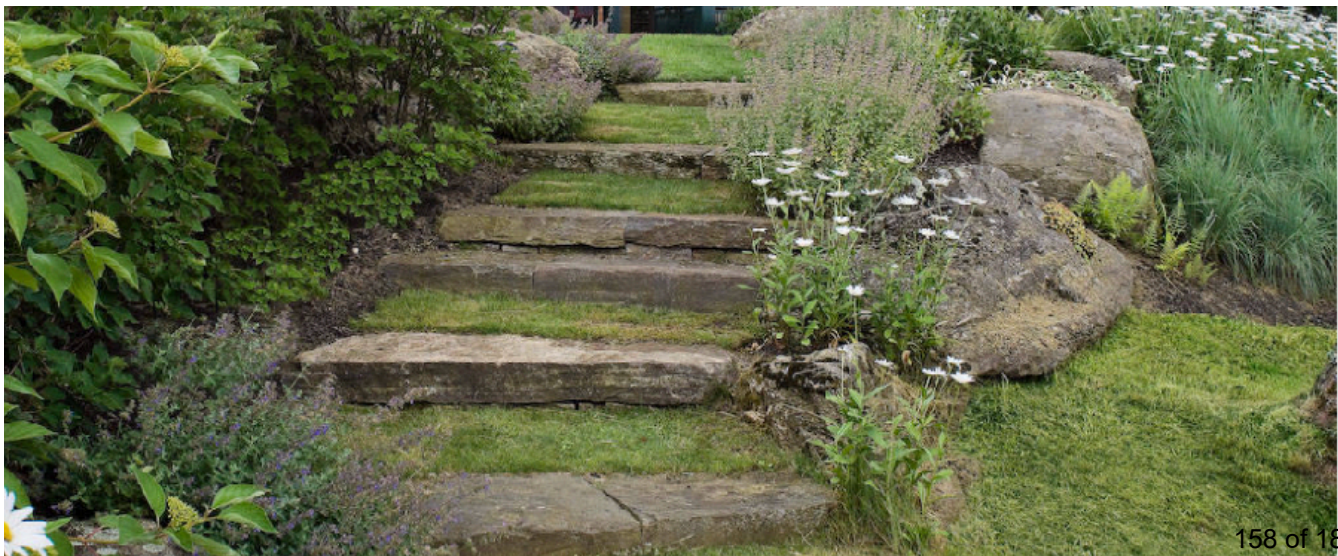
APPROVED... remove all the cinder blocks, reduce the grade, and create 12 new steps with 7” risers located over a 20’ distance with a 7 foot drop (84”) from the parking area to the mostly flat lower portion of the path (note: lower half of the path is not on Applicants property).

This spacing will allow for equidistant 1’ 8” long treads. The back portion of each tread will be filled with permeable bedding sand and gravel, then compact slightly to form a solid foundation for rough-cut granite edging.

At the bottom of the 12-step staircase described above, three additional steps will be needed. These steps will each have 6’ long treads with same fill and edging as the upper stairs, and will cover an 18’ distance with a 1’ 4” drop.



Concrete block steps - June 2022



APPROVED... open patio would consist of bluestone pavers extending approximately 15' out from the rear of the house. The patio would have an irregular edge rather than filling the 15x15 space, and it would be located entirely outside of the 50' buffer. The patio beneath the deck would consist of bluestone pavers interspersed with either grass or another walkable permeable surface, similar to the one shown in the photo to the left.

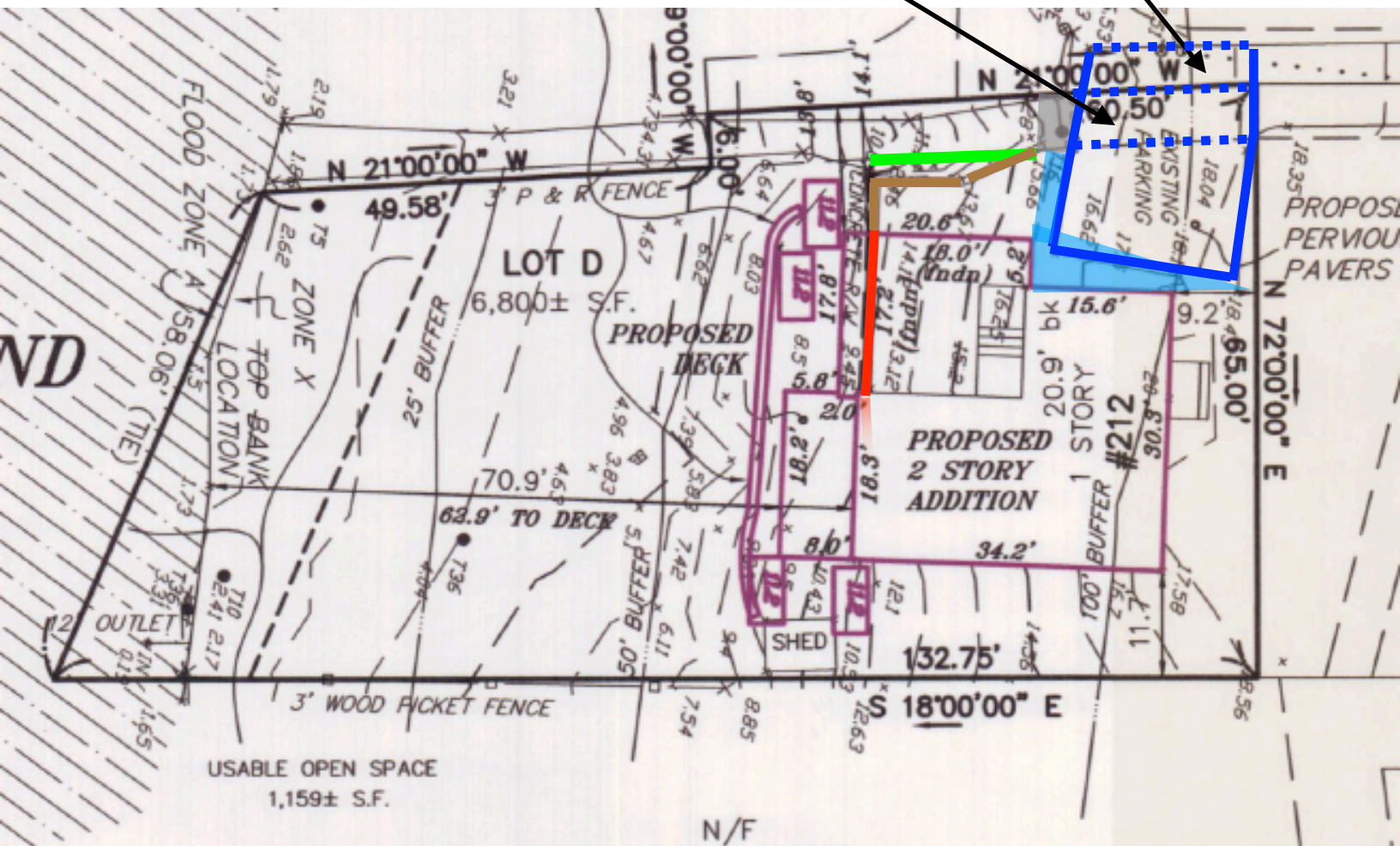
APPROVED... In order to construct the patio, the land immediately behind the house will need to be regraded to a level that is approximately 1' below the current basement floor (approximately 11' elevation). This is the steepest part of the property and it includes the depression; leveling should eliminate any runoff that currently goes toward Spy Pond.

APPROVED... a porous gabion wall following the 8.03 foot contour line to retain the soil. The wall would range in height from approximately 2' at the end closest to the steps to 3' at the end closest to the shed.



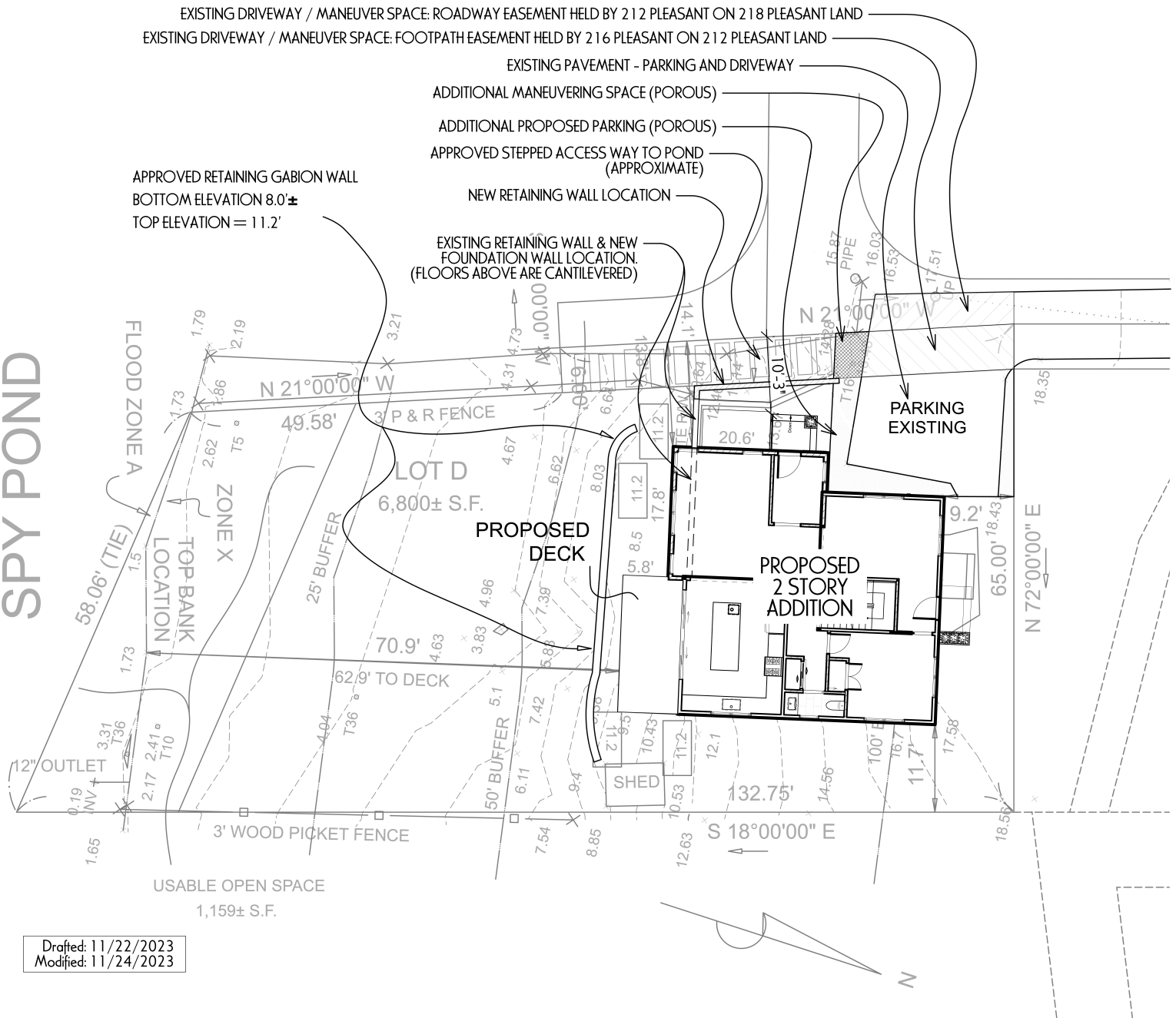
Example gabion wall

t land



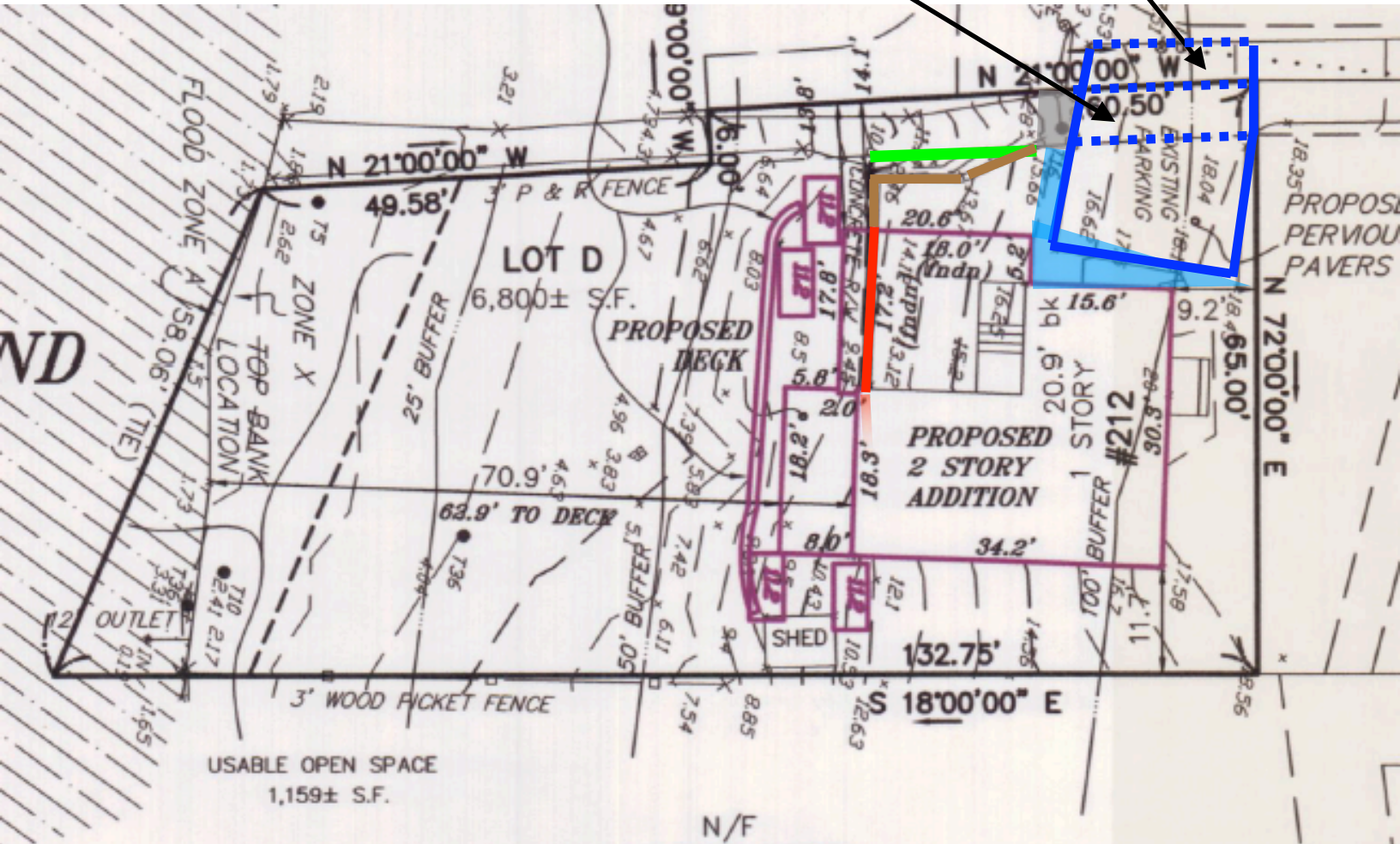
- Existing Pavement - Parking and Driveway
- Additional Proposed Parking (porous)
- Additional Proposed Maneuvering Space (porous)
- Existing Retaining Wall & Proposed Rear Foundation Line NO CHANGE (floors above are cantilevered)
- Existing Retaining Wall
- Proposed Change in Retaining Wall next to steps
- Proposed Steps to Pond (Approximate)

SPY POND



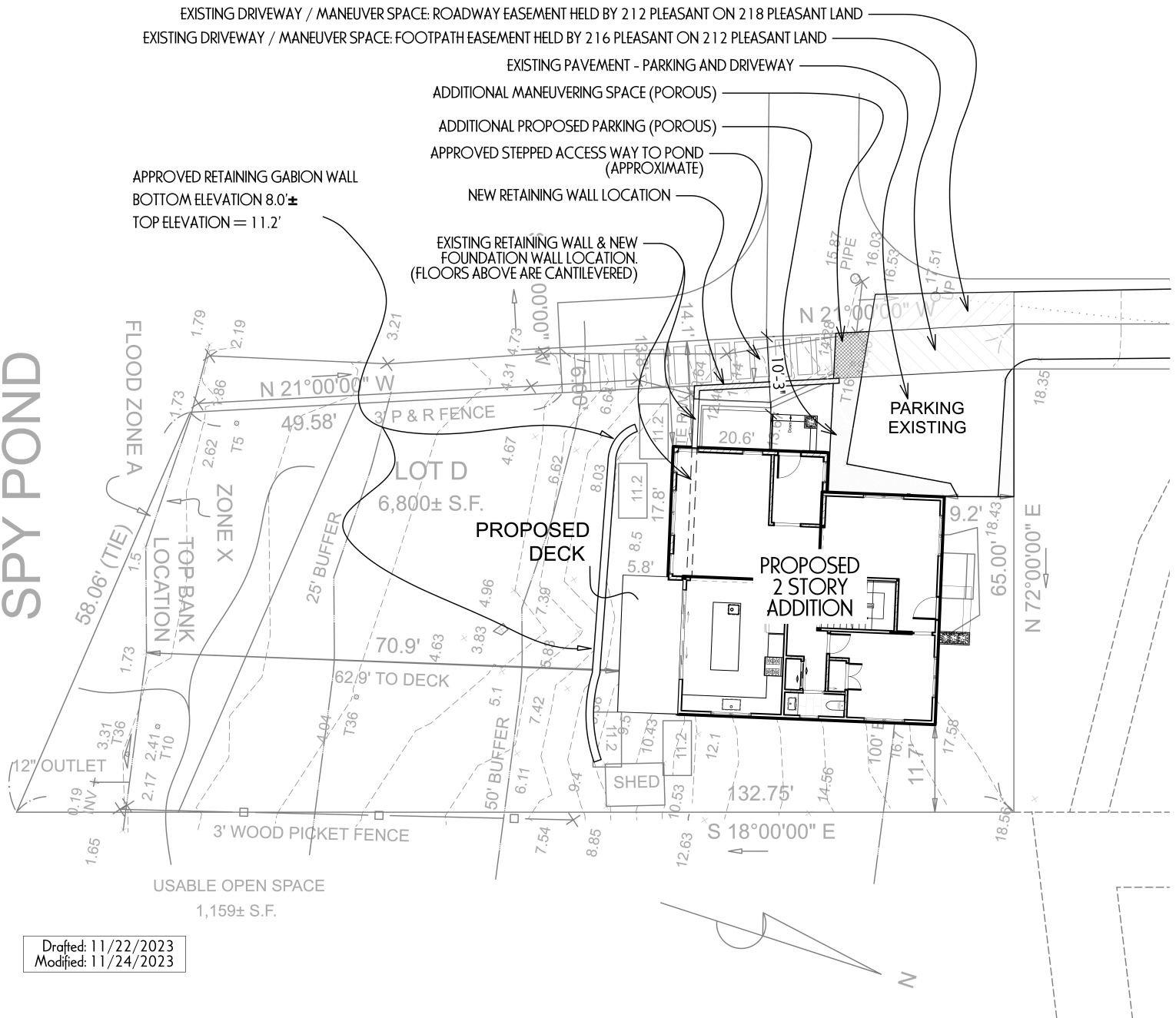
Existing Driveway / Maneuver Space: Roadway Easement
held by 212 Pleasant on 218 Pleasant land

Existing Driveway / Maneuver Space: Footpath
Easement held by 216 Pleasant on 212 Pleasant land



- Existing Pavement - Parking and Driveway
- Additional Proposed Parking (porous)
- Additional Proposed Maneuvering Space (porous)
- Existing Retaining Wall & Proposed Rear Foundation Line NO CHANGE (floors above are cantilevered)
- Existing Retaining Wall
- Proposed Change in Retaining Wall next to steps
- Proposed Steps to Pond (Approximate)

SPY POND



November 27, 2023

Dear Arlington Zoning Board of Appeals,

Mrs. Aikenhead and Mr. Halliday recently shared new information at the ZBA's request to provide complete and accurate plans to better understand the impact on abutters. As we've written and spoken about before, the process to gain information that would allow us at 218 Pleasant and other abutters to understand everything that is being built or altered and where or how has been truly challenging and stressful. Mrs. Aikenhead and Mr. Halliday barely acknowledges that the proposed work impacts us at all. When we ask for more details, they simply say that "everything will on be on our property." They do not believe our concerns are valid since everything – a large addition, two retaining walls, major movement of earth, parking expansion and water retention installation – is supposedly within their property boundaries. It is to our major disappointment that we now find this claim to be false, and unfortunately, this has led to a tense situation between us and 212 Pleasant Street.

Through this ZBA review, we learned that Mrs. Aikenhead and Mr. Halliday knowingly misrepresented both the existing and proposed parking areas at 212 Pleasant Street in prior formal reviews. Specifically, Mrs. Aikenhead and Mr. Halliday obtained approval by the Conservation Commission and Town Engineering to expand the parking area of 212 Pleasant Street from 20' x 24' (480 square feet) to 22' x 29 (638 square feet) and to install permeable pavers and water retention system in the larger area (638 square feet) as part of their mitigation plans for the large addition. However, portions of the existing and proposed areas are land owned by 218 Pleasant Street, and permits that include changes to our property were approved without our knowledge or consent.

Here is a video we took that shows how 212 Pleasant Street's parking is made up of space for parking that is on 212's property and space for passing and repassing on 218's property and 214's property:

[Private Youtube Video](#)

if above doesn't work, please copy the link:

<https://youtu.be/Es34Ym8vajs?si=E74hMCHi9WkTrpwW>

Mrs. Aikenhead and Mr. Halliday have a right of way over our property, and there is major disagreement on the authority they are granted with this easement. We have initiated legal action and are seeking to resolve this matter in court. We have also contacted Mr. David Morgan, the Town Conservation Agent, to address this land misappropriation with the Conservation Commission and have requested they revoke the permit.

In their letter to the ZBA, Mrs. Aikenhead and Mr. Halliday note the increase in parking with new dimensions, from 20' x 15' (300 square feet) to 22' x 17' (374 square feet.) These numbers have been corrected for the ZBA following our repeated requests to make sure the property boundaries and different easements are clearly presented and that the areas for parking versus passing/repassing are also drawn on the plot plan. With the correct parking dimensions, there is only space for one car to park in what exists and there has been much trouble already whenever two cars try to park and turn around as we spoke about in earlier comments. Adding parking space for two cars will certainly increase traffic on our driveway and pose danger to us and our child. Also, we disagree that driving a super mini car as one of the vehicles in the video shows how the proposed parking is functional for two cars.

We are also seeing the location of the second retaining wall in the side yard for the first time. We are perplexed how this wall, along with the new area of the parking alteration and expansion, is not a new detail or change. It is unclear how the side yard on one side of the retaining wall will change in elevation and how the footpath to the pond on the other side of the retaining wall will change in elevation. We are very worried about filling in the side yard along with leveling the parking and 216's easement (which includes filling a steep part of the foot path) and installing permeable pavers and water basin area less than 10 feet away from our old foundation. Our waterfront land adjoins 212 Pleasant Street and is also on a steep slope; meanwhile, we do not have any retaining walls or other systems in place to safeguard against the increase of water retention. Here are photos of this area:



We would feel more reassured if a professional engineer and a geologist reviewed accurate plans and made a site visit to assess the impact of these activities on our house and property. We have asked this many times. We support being environmentally friendly, however the project's efforts to decrease impervious surfaces with permeable paver system and reduce runoff to Spy Pond by leveling the yard and parking also have potential to harm or damage our house and property and that should be considered. We would still like confirmation regarding the depth of the proposed house to our property that we requested in our letter to the ZBA dated August 27, 2023. The distance on the application is not what we had seen on the plot plan. We also find the side entrance porch and steps on the revised plot plan are not matching the architectural plans and would like to know if this is another new change.

We feel compelled to mention that we received a letter from Mrs. Nellie Aikenhead and Mr. Mark Halliday shortly after they acquired 212 Pleasant Street. They expressed a huge interest in buying our home (218 Pleasant Street), stating that they can buy 218 Pleasant Street with all costs. We declined their offer and now understand this conflict has evolved into a dispute between us

and a property flipper, not a neighbor. Mrs. Aikenhead's and Mr. Halliday's disrespectful actions toward us and inability to provide transparent and trustworthy plans have had a detrimental impact on our lives and have caused us undue stress. We hope for a swift resolution that fairly considers the proposed project in relation to the neighboring properties and families who live there and ensures the peaceful existence of neighbors.

Today, I engaged in a detailed discussion with the town engineer, Mr. Chouinard, focusing on the minor stormwater plan proposed by Mrs. Nellie Aikenhead and Mr. Mark Halliday. This conversation provided valuable insights. As an abutting neighbor, I believe that the project at 212 requires a more thorough plan, especially considering the proposed expansion of the parking area and the construction of two retaining walls. It is imperative that all aspects of this development are carefully evaluated by a professional engineer and a geologist to ensure the plans meet the requisite standards and do not adversely affect the surrounding properties.

It's imperative to address the fragile nature of the wetland's soil. Currently, 212 has only constructed two retaining walls on their own property, while there is no retaining wall on the 218 property. These two pictures effectively illustrate the differences between 212 and 218. The absence of a retaining wall on 218's property has resulted in sinking and denting, and we are deeply concerned about the potential consequences once 212 expands the parking space.

If we consider the area between 212's white house and the parking space, it forms a natural slope designed to facilitate water drainage towards the lake. Unfortunately, we lack information regarding the water-holding capacity of permeable pavers of the correct parking area. If 212 proceeds with leveling out the parking area, the risk of significant water damage is beyond our imagination.







Parking difficulties

We've reported this car to Mr. Mark Halliday but he replied " they will leave soon" and continued to park on the shared driveway.



This occurred when their tenants moved in, and they used 218's front yard for maneuvering since there wasn't enough space in the 212 parking area for a U-HAUL to do anything.



Another guest parked in the 218 entrance.



Additionally, this situation has disrupted our Thanksgiving holiday plans (Mrs. Nellie Aikenhead emailed all neighbors on 11/20, 11/21, 11/25 and 11/26

with all her information despite we've asking long before the holidays), as we have had to dedicate all our time and energy to address these issues, including being with our teething baby who has been suffering from a fever for days.

We thank the ZBA for its time and careful consideration and urge you to deny this special permit.

Ibrahim & Show Isik

218 Pleasant Street Arlington, MA 02476

November 27, 2023

Dear Arlington Zoning Board of Appeals,

The proposed plans to construct a large addition at 212 Pleasant Street are inharmonious with the characteristics of its site and surrounding neighborhood. In particular, the height and mass of the proposed building are of an inappropriate scale relative to its very close proximity to our home and abutting properties. The physical and visual impact of the addition on a waterfront lot with nonconforming setbacks is detrimental to us and our property.

As stated and described in prior letters and comments to the ZBA, the proposed addition will be absolutely detrimental to our property's value and more importantly to our family's health, well-being, and quality of life in our home and neighborhood.¹ The proposed height negatively impacts our access to sunlight, air, and views of Spy Pond and the natural environment. In addition to its height, the flat roof design disproportionately obstructs sunlight, air, and views in comparison to the existing hip roof shape. To fully understand the impact on us and our property, Attachment A provides an approximate picture of the natural scenery and light that the proposed plans will block from inside our main family room alone. Impacts on sunlight, air, privacy, and views will be felt throughout our entire kitchen/dining and living areas on the main floor as well as our upstairs primary bedroom suite.

We have spent considerable time evaluating the proposed plans and trying to envision modifications that might lessen the impact on our property. The combination of lowering the height of the addition (upper roof) to that of the main portion (lower roof) of the proposed building along with incorporating an alternative roof shape where the sides slope downward would lessen the detrimental impacts of the proposed design to our property. Looking at the front side of the house, which is the view from our home, the proposed height of the addition is 9 feet higher than the visible roofline of the existing cottage. The upstairs level of the addition accommodates a primary bedroom suite with cathedral ceilings that are 10 feet 10 inches high.² Meanwhile, the rest of the second floor has 8 feet 1 inch high ceilings.³

At the encouragement of the ZBA, we requested a meeting with Nellie Aikenhead and Mark Halliday to explore the possibilities of reaching a compromise on the building design. During our discussion, we raised our specific concerns regarding the roof height and shape and asked them to please consider modifying their proposal in these ways. They expressed openness to reducing the addition's height slightly but indicated that they did not want to lower it to match the main portion of the house. They showed less willingness to change the roof shape and design

¹ Refer to Docket #3733 (continuance) for earlier letters submitted as part of the ZBA hearing held on February 28, 2023, when the applicants first submitted a request for a special permit to construct a large addition at 212 Pleasant Street.

² Refer to Architectural Drawing A3.2 Proposed Section (West) submitted by applicant (Docket #3764)

³ Refer to Architectural Drawing A3.1 Proposed Section (East) submitted by applicant (Docket #3764)

because of the impact on their proposed living space on the second floor with angular or sloped ceilings. They also mentioned that they would not consider roof design changes that would require them to go back to the Historic Commission for another approval.

Unfortunately, partially lowering the addition's roofline on its own is not that meaningful in terms of lessening the negative impacts on us. Ms. Aikenhead and Mr. Halliday are reluctant to consider design changes that would provide less marketable living space or require further formal review and time. Given those concerns, applicants argue that they have little margin for making any concessions, which makes it difficult to achieve a reasonable compromise with them.

As we've noted before, the size and scale of the existing building reflects the land's history and setting. It is a small 1-bedroom cottage that is nestled within the natural landscape of Spy Pond on a nonconforming and relatively small waterfront lot. The existing home is more about its nature-filled surroundings and picturesque views than square footage. We understand that the large addition is desirable to provide increased living space. Still, this benefit does not outweigh the adverse effects to neighboring properties.

The applicants explain that the large addition is essential or desirable to the public convenience/welfare because of its many environmental benefits, such as the decrease in impervious surfaces. The addition itself obviously increases impervious surfaces and it is only by installing plastic grid pavers and water catchment system in the parking area that the project is able to mitigate the adverse effect of this increase. Yet, when we look at the calculations provided to the Conservation Commission and Town Engineering Division, there is a net increase in the total impervious surface area (Attachment B). Moreover, there are revised parking area figures in the latest documents submitted to the ZBA (dated November 20, 2023), and this suggests the calculations of impervious/pervious coverage that have already been approved are no longer accurate.

With additional living space to accommodate more people, the use of the parking area will change from accommodating one car to two cars. Access to 212 Pleasant Street is via a driveway that is owned by 214, 216, and 218 Pleasant Street. Parking two cars instead of one changes traffic patterns considerably and poses a significant safety hazard to our family, especially our young children who play and ride outside on a daily basis, and other pedestrians passing on their properties or easements.

Based on the applicant's latest figures which were revised to reflect property boundaries and easements, the existing parking area is 20 feet by 15 feet. According to the Bylaw for Parking Space Standards, a parking space for one motor vehicle shall have minimum dimensions of 8.5 feet by 18 feet.⁴ In other words, the area would need to be 17 feet by 18 feet at a minimum to accommodate two parking spaces. Presently, the existing area accommodates one parking space, not two parking spaces as stated in the application to the ZBA.

⁴ Refer to Section 6.1.11(A) Parking and Loading Space Standards on pages 6-6 of the Arlington Zoning Bylaw.

We find the video submitted to the ZBA does not sufficiently explain how two cars can park and turn around in what currently exists (nor demonstrates maneuverability in what is proposed). One of the vehicles used to verify this is a Fiat 500, a subcompact car that is significantly shorter and narrower than a typical passenger vehicle. If we consider the actual experience over the past year, short-term guests and tenants at 212 Pleasant Street driving even midsize cars or compact SUVs have continuously demonstrated they are unable to park two cars in the existing space with adequate room to turn around and make a forward facing exit. A few supporting photos and videos of this common occurrence are compiled in folder linked [here](#). Again, the existing parking area is for one car, and by adding parking spaces for two cars, there will be increased traffic over our land. This change is not trivial as it will drastically impair our children's safety and reduce our family's ability to use and enjoy our property.

The lack of coherence and transparency on critical aspects of the project has made it extremely difficult for us to comprehend the proposal's full impact on us and the neighborhood. The burden has been on us to piece together the entirety of this complex project, and we appreciate the ZBA's request that the applicants provide comprehensive site plans and drawings that present all of the changes that are being proposed in an unambiguous, consistent, and accurate format.

Despite this explicit request by the ZBA, gaps remain in the applicants' latest submission of information and documents. The revised average grade of the proposed building (produced in October) is not reflected in the application or architectural drawings. Similarly, the proposed topography (elevations) in the rear yard is not reflected in any elevation drawings. This is the first time we are seeing the location of the second retaining wall as it will extend from the new foundation of the addition in the side yard (towards West). It is not in the same place as the existing structure that was originally proposed. Likewise, we lack information about how the side yard will change in elevation with this new wall and any regrading/filling of earth and how this will interact with the parking area and foot passage to the pond. These are all structures and activities occurring within 25 feet of our property line.

Lastly, we understand that the proposed project has already undergone review and received approval by the Conservation Commission and Historic Districts Commission. Yet, at the same time, this does not supersede the ZBA's review and charge to assess the impacts of the proposed alterations in relation to the abutting structures and uses. The applicants should feel inclined to try to acknowledge and understand the adverse effects this would have on all of the abutters and their families. Simply asserting they are obligated to carry out plans without genuine regard for its impacts on us is contrary to the purposes of the ZBA review.

The large addition and alterations being proposed at 212 Pleasant Street for which a special permit is required has an unreasonable impact on our property. The detriment to our ability to view, feel, and enjoy the sunlight, open air, privacy, and natural beauty and wildlife that surrounds our home coupled with the threat posed to our children's health and safety is substantial. We strongly urge the ZBA to deny this application.

Thank you again for your time, consideration, and dedication to serving Arlington.

Sincerely,

John Garber III and Sabrina How
214 Pleasant Street, Arlington, MA 02476

ATTACHMENT A

View from Main Family Room (Existing)



View from Main Family Room (Proposed)



ATTACHMENT B

Table Submitted to Town Engineering as Part of 212 Pleasant Street's Application for Minor Stormwater Management Permit (Approved January 18, 2023)

Existing and Proposed Impervious Area - 212 Pleasant Street			
Area Table	Existing Sq Ft	Proposed Sq Ft	Net Increase
House Footprint	802.00	1,152.00	
Parking Area *	480.00	638.00	
Front Walkway	50.00	36.00	
Steps to side door **	36.00	49.00	
Walkway to side steps	0.00	11.50	
Patios	0.00	225.00	
Steps to Pond	360.00	360.00	
Total	1,728.00	2,471.50	
Permeable Parking	0.00	638.00	
Permeable Front Walkway	0.00	36.00	
Permeable Steps to Side Door	0.00	49.00	
Permeable Side Walkway	0.00	11.50	
Permeable Patio ***	0.00	191.40	
Steps to Pond ****	360.00	306.00	
Total Less Permeable	1,368.00	1,491.50	123.50
* Site does not include a driveway; access is via off-site easement only			
** Current steps are impervious concrete and brick; proposed will have wood decking & treads			
*** Estimate patio layout will be 30% permeable			
**** Estimate granite edging on steps will use 15% of the total stairway space			

Dear Members of the Arlington Zoning Board of Appeals,

We have reviewed the updates from the applicant for 212 Pleasant St additions, and find ourselves disheartened by the lack of accurate information and willingness to address our concerns. We are still struggling to find a win-win in this challenging scenario for all parties involved. The following points are particularly concerning to us:

1. Side entrance steps, easement, and parking

It remains unclear to us the exact locations of the steps from the proposed side entrance, and its relation to the retaining wall and our deeded easement to the pond. The dimension in the “updated parking sketch” is inconsistent with the architectural drawing and plot plans, which were also included in the most recent attachment from the applicant. We believe the new sketch is misleading, and we are unable to assess the impact to our easement to Spy Pond based on inconsistent and incomplete information.

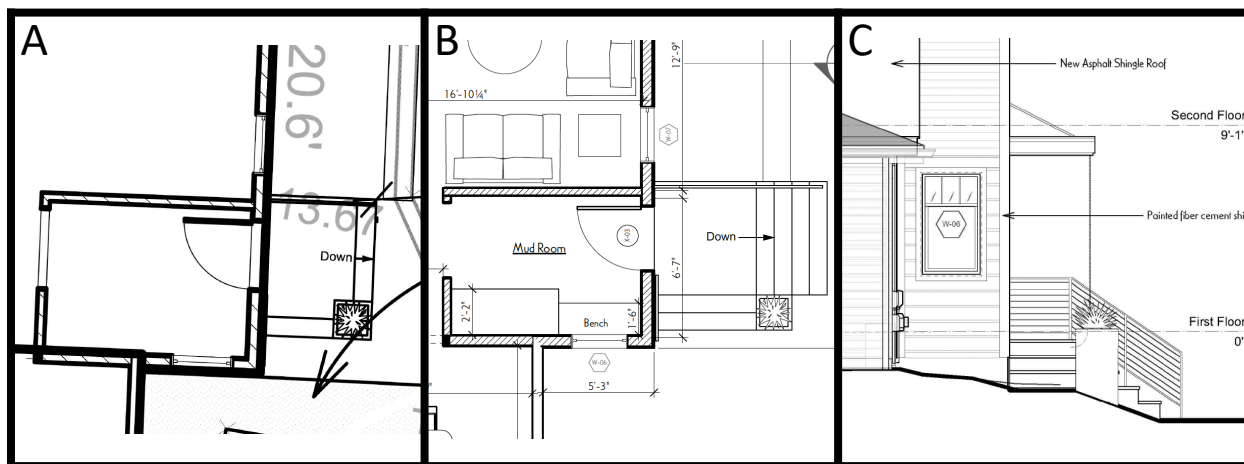


Figure 1. In A, only one step is shown and is narrower from the architectural drawing in B, similar drawing was also referenced in “Front_Proposed” pdf attachment as shown in C.

While the applicant has attached a video of two cars driving away from the premise forward facing, one of them is an atypical subcompact car. We have significant concerns on what the space would look like with two non-atypical compact cars, how do we enforce only compact cars are allowed parking in order to maintain access to our deeded easement; and we also have concerns of the space during heavy snow season. As mentioned in our previous letter, in the past eight years that we lived here, there was only one car parked at 212 Pleasant St at steady state.

Since the applicants purchased the home, there have been considerable issues with driveways being blocked or used inappropriately because two cars are unable to park nor have enough room to exit safely.

2. Inconsistency of plans / proposals (ZBA, ConCom, and HDC) and unknown impact on water run-off

The most recent information provided by the applicant stated the extension of parking area from 20'x15' to 22'x17', which is inconsistent with the information provided earlier — from 20'x24' to 22'x29'. The previous approvals from the Conservation Commission and Historic District Commission were based on incorrect information. We understand this is beyond the jurisdiction of the ZBA, but will seek other avenues to revoke the approvals.

It is also important to note that the dimensions of current parking area 20'x15' only provides one parking space for a compact car, based on requirement of 8'x16' in Zoning Bylaw (6.1.11), and the applicant has provided incorrect information on the ZBA application stating the current parking area can accommodate two cars. More importantly, the dimensions of existing and proposed parking areas are missing in the plot plan, which makes it difficult for us to assess or verify whether it excludes our deeded easement. We request the applicant update the plot survey with marked dimensions of parking area, so we can confirm its accuracy in order to maintain our easement to Spy Pond.

Furthermore, with the following changes from previous applications to ConCom and HDC, we are unable to understand how the proposed plan could impact water management and runoff:

- Change in parking dimensions and details of 5'x5' "driving area" as mentioned in applicant's memo to the ZBA (11-18-2023)
- Updated information on the new retaining wall
- Removal of the large tree close to our easement as shown in picture on page 9 of applicant's memo to the ZBA (11-18-2023)

These changes could lead to significant and detrimental impacts to the maintenance and integrity of our deeded easement due to changes in water runoff, damage immediate abutters' properties, and negatively impact the environment and wild-life in Spy Pond.

3. Construction phase in case of approval

We have significant doubts on the feasibility of the construction at the proposed scale as there's no public driveways to 212 Pleasant St, and due to the uniqueness of the right-of-way on the properties of 216, 218, and 214 Pleasant St. The construction will undoubtedly require blocking the only three parking spaces in front of our property on a long stretch of Pleasant St. We have witnessed two major car accidents within a quarter mile from us in the past month alone. This will undoubtedly pose danger to the pedestrians and drivers in our neighborhood.

4. Community safety and long-term investment

The updated plan to extend one parking spot to two (with inherent challenges to maneuver and exit the driveways) would have detrimental impact on the safety of our neighborhood, as we currently have three young children who play on our properties and use the right-of-ways on a regular basis. This could also impact traffic patterns and safety of pedestrians on Pleasant St due to the uniqueness of our shared driveways.

Lastly, we have little confidence that the applicant intends to live in our cherished cul-de-sac and the loving community we all invested in the past 6+ years, based on the recent interactions and communications with the applicant. We would much rather partner with one who intends to invest in our community long-term, and to make environmental improvements for wild-life and Spy Pond in an inclusive and collaborative manner based on trust.

We remain strong in our opposition and believe the proposed plan is entirely out of scope and unnecessary for the potential environmental benefits. The development is not only unfair and unreasonable to the immediate abutters, but will also be detrimental to the welfare of the immediate neighborhood and beyond.

Respectfully,

Chia Yun Sun and Matt Dawson



Town of Arlington, Massachusetts

Docket #3776 49 Dickson Ave



Town of Arlington, Massachusetts

Docket #3777 95 George Street



Town of Arlington, Massachusetts

Docket # 3778 11 Ronald Road



Town of Arlington, Massachusetts

Docket #3779 9 Morton Road